

STAFF ANALYSIS

Variance 2015-V-091

General Information:

Project/Applicant:	Carter Environmental/Chris Carter
Property Owner:	Thomas Gary Hines
Project Location:	1680 College Parkway, Gulf Breeze, FL
Parcel Number:	30-2S-28-0302-00A00-0090
Request:	Variance is to reduce the side setback requirements from 7.5 feet to 0 feet to accommodate a dock. (LDC 6.03.05.F.5.a)
Zoning District:	R1 (Single Family Residential)
Current Conditions:	Single Family Residence; the site is in the Bay Ridge Park 2 nd Edition of the Polynesian Isles Subdivision canal system

Land Development Code Criteria:

6.03.05 **Accessory Activities:** In addition to the principal activities expressed above, each activity type shall be deemed to include activities customarily associated with and appropriately incidental and subordinate to the principal activity when located on the same zone lot as such principal activity and meet the additional conditions set forth below. Such accessory activities shall be controlled in the same manner as the principal activities within such zone except as otherwise provided in Section 2.10.06. Accessory activities include, but are not limited to, the activities indicated below:

F. **Docks, Piers and Mooring Devices:** Structures such as piers, docks, wharves, mooring devices, lifting and launching devices, the decking of which is no higher than three (3) feet above mean high water, are permitted as accessory structures.

Such structures shall not extend seaward from the property line for more than three hundred (300) feet or fifteen (15) percent of the open water span at the point of installation whichever is less, except as provided in Section 6.03.05(F)(5.b).

On all construction of docks, boathouses, piers, retaining walls, seawalls, and dolphin poles a zoning review and site plan must be filed and approved by the Community Planning, Zoning and Development Division before building permits can be obtained or construction begun.

5. All canal front construction must meet the following dimensions and setbacks.
 - a. Side and corner setbacks will be fifteen (15) feet or fifteen (15) percent of the water frontage width whichever is less. Side setbacks are measured from side lot lines that separate two lots. Corner setbacks are measured from the corners created by the intersection of two canals. The intent of corner and side setbacks is to enable access to the docks, piers, and boathouses for each lot and to accommodate turning movements at the intersection of canals.

Variance Criteria:

2.04.00 SPECIAL EXCEPTIONS, VARIANCES AND CONDITIONAL USES:

The BOA shall have the following duties and powers:

- B. No variances shall be authorized under this provision unless the Board finds that all of the following conditions exist:
1. The special circumstances or conditions applying to the building or land in question are peculiar to such property and do not apply generally to other land or buildings in the vicinity.

Is this criterion met? No

Staff Analysis: Staff has determined that there are no special circumstances regarding the land or building in question, and that this parcel does not possess unique qualities with respect to size or exceptional shallowness that are peculiar to such property and not to other lots within the area.

The applicant is seeking relief from the section of the Ordinance which regulates the side setback requirement to accommodate a dock.

2. The variance is necessary for the preservation and enjoyment of a substantial property right and not merely to serve as a convenience to the applicant.

Is this criterion met? No

Staff Analysis: This Variance request is not necessary for the preservation and enjoyment of a substantial property right and is merely a convenience to the property owner.

3. The authorization of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, the danger of fire, imperil the public safety, unreasonably diminish or impair established property values within the surrounding area or in any other respect impair the health, safety, comfort, morals or general welfare of the inhabitants of Santa Rosa County.

Is this criterion met? Unknown

Staff Analysis: It is not anticipated that the authorization of this Variance will impair an adequate supply of light and air to adjacent property, increase congestion to public streets, or impair the public safety.

It is unknown if the authorization of this Variance will unreasonably diminish or impair established property values within the surrounding area.

4. The variance will not impair the intent of the zoning ordinance or zoning district map.

Is this criterion met? No

Staff Analysis: If authorized, a Variance without special circumstances would impair the intent of the zoning ordinance.

5. To permit the reduction of parking or loading requirements whenever the character or use of a building is such as to render unnecessary the full provision of parking or loading facilities as specified herein or whenever the strict enforcement of such provision would impose an unreasonable hardship as contrasted with

merely granting an advantage or convenience.

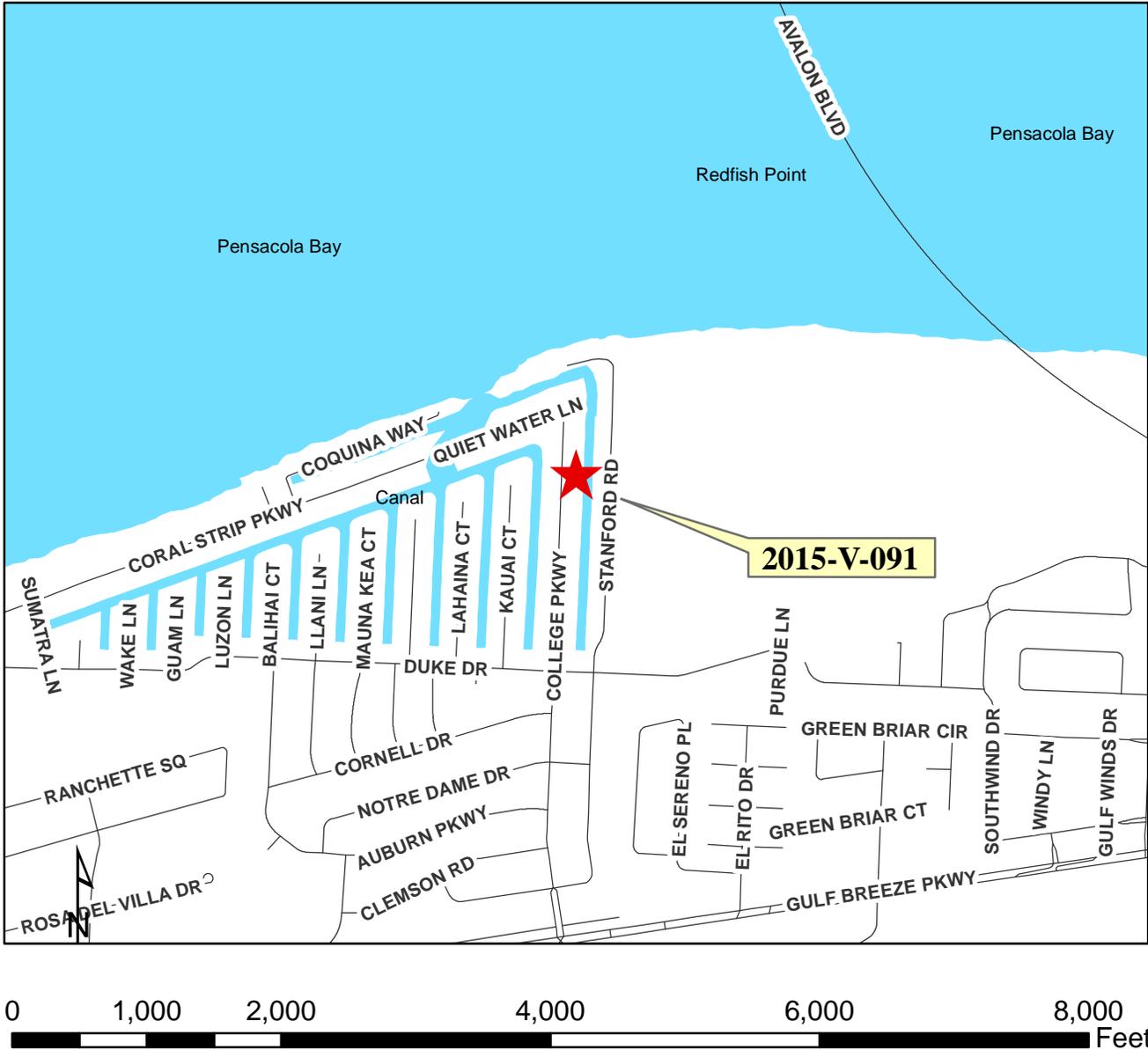
Is this criterion met? N/A

Staff Analysis: The proposed request does not apply to the reduction of parking or loading requirements nor does it apply to the access management standards which would affect the safety or operation of the roadway.

If the Variance is approved, are there any potential building code issues?

It is not anticipated that there will be any potential building code issues.

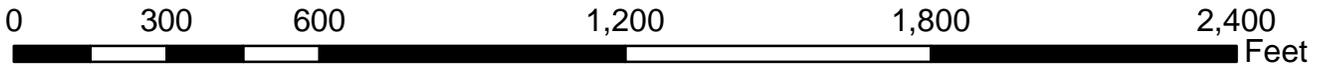
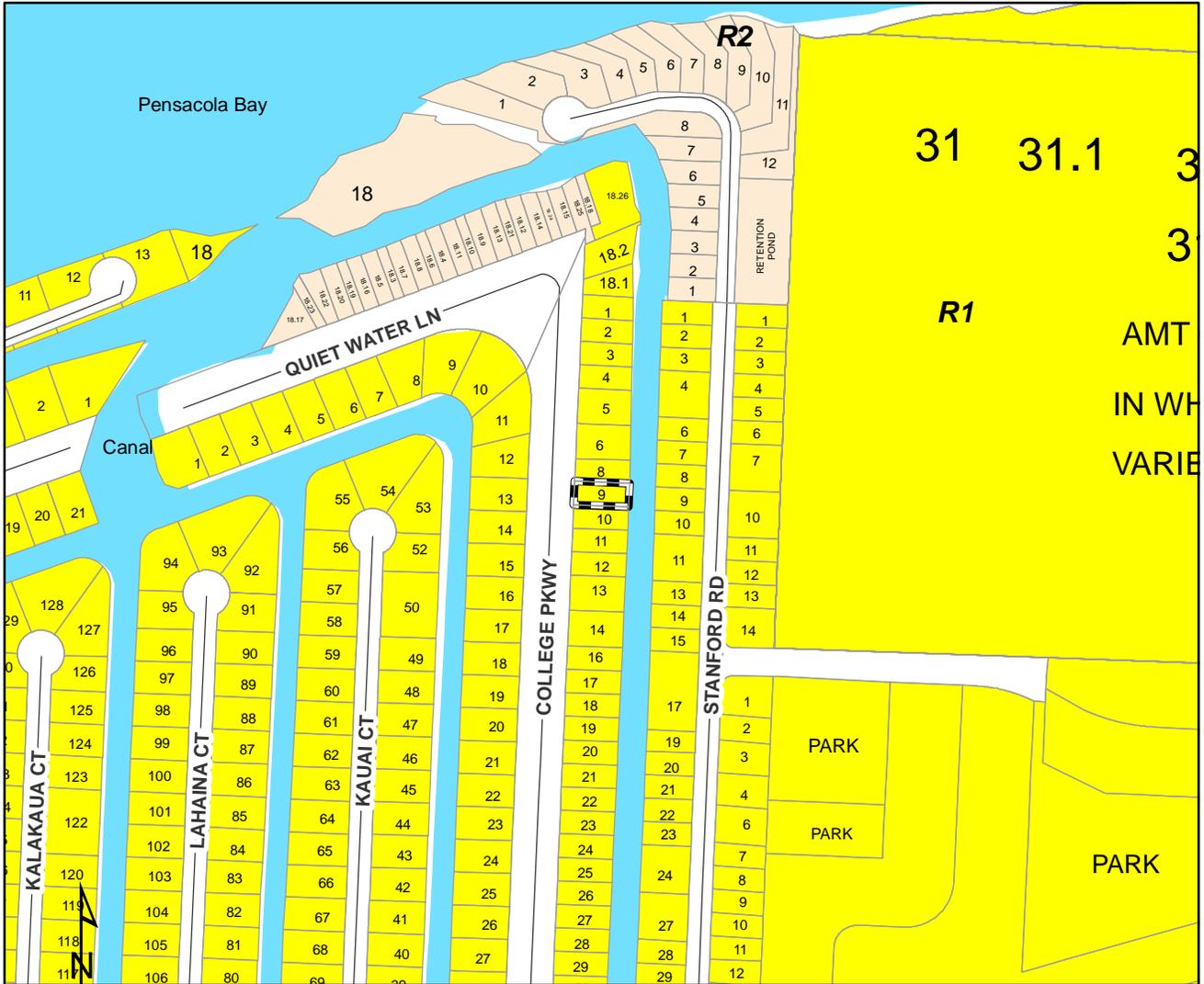
**2015-V-091
Location**



Legend

Disclaimer:
The GIS maps and data distributed by the Santa Rosa County BOCC departments are derived from a variety of public and private sector sources considered to be dependable, but the accuracy, completeness, and currency thereof are not guaranteed. The Santa Rosa County Commission makes no warranties, expressed or implied, as to the accuracy, completeness, currency, reliability, or suitability for any particular purpose of information or data contained in or generated from the County Geographic Database. Additionally, the Santa Rosa Commission or any agent, servant, or employee thereof assume no liability associated with the use of this data, and assume no responsibility to maintain it in any matter or form.

2015-V-091 Zoning

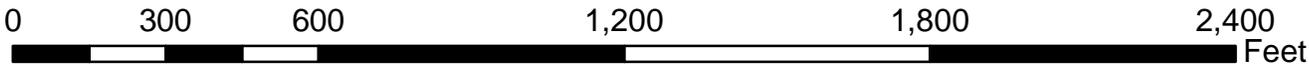
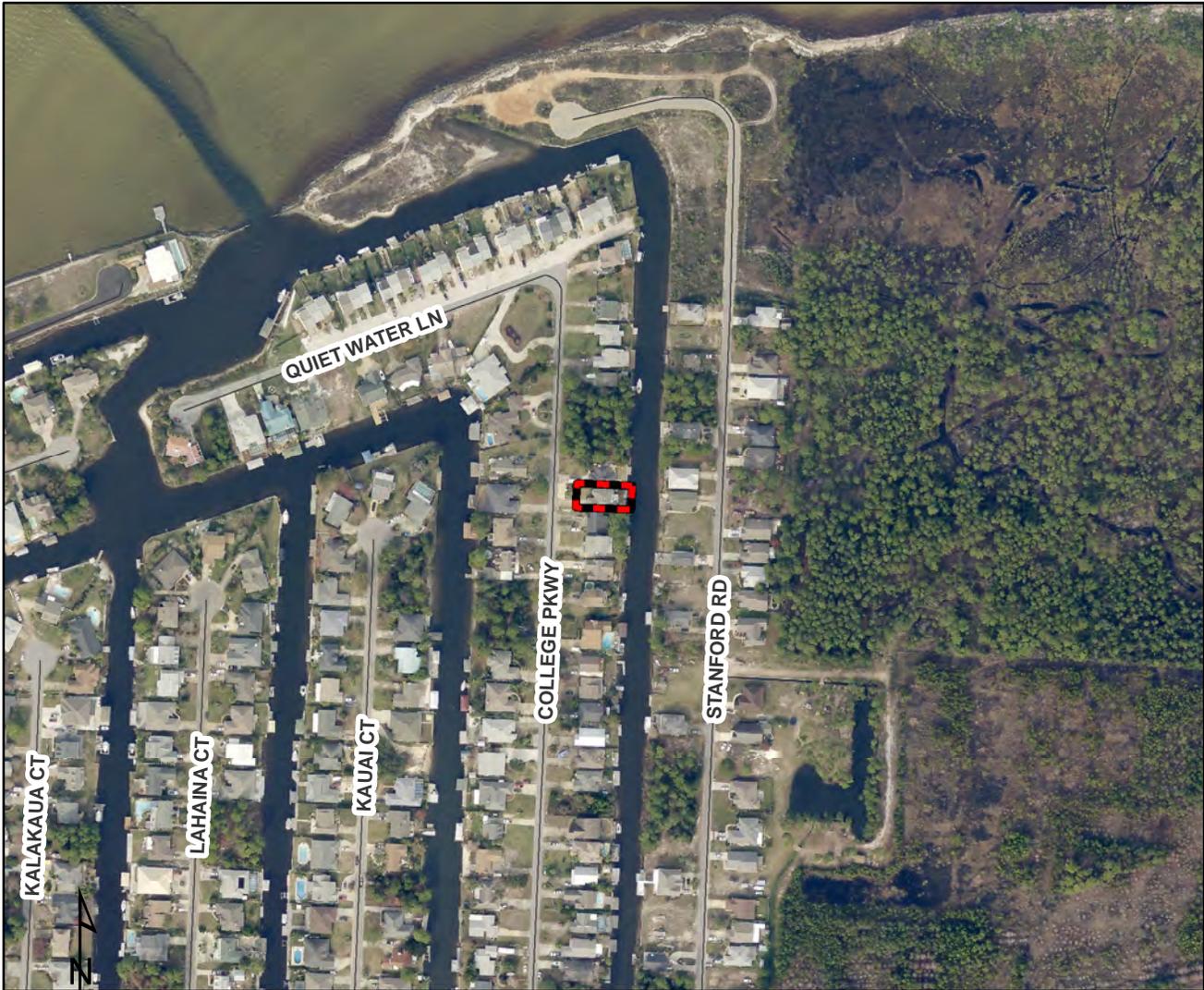


Legend

Disclaimer:

The GIS maps and data distributed by the Santa Rosa County BOCC departments are derived from a variety of public and private sector sources considered to be dependable, but the accuracy, completeness, and currency thereof are not guaranteed. The Santa Rosa County Commission makes no warranties, expressed or implied, as to the accuracy, completeness, currency, reliability, or suitability for any particular purpose of information or data contained in or generated from the County Geographic Database. Additionally, the Santa Rosa Commission or any agent, servant, or employee thereof assume no liability associated with the use of this data, and assume no responsibility to maintain it in any matter or form.

2015-V-091
2014 Aerial

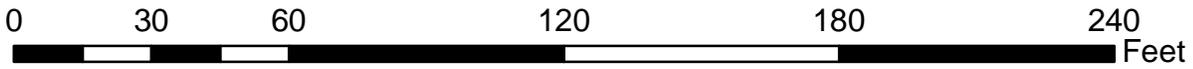


Legend

 PendingZBNovember

Disclaimer:
The GIS maps and data distributed by the Santa Rosa County BOCC departments are derived from a variety of public and private sector sources considered to be dependable, but the accuracy, completeness, and currency thereof are not guaranteed. The Santa Rosa County Commission makes no warranties, expressed or implied, as to the accuracy, completeness, currency, reliability, or suitability for any particular purpose of information or data contained in or generated from the County Geographic Database. Additionally, the Santa Rosa Commission or any agent, servant, or employee thereof assume no liability associated with the use of this data, and assume no responsibility to maintain it in any matter or form.

2015-V-091
2014 Close Up Aerial

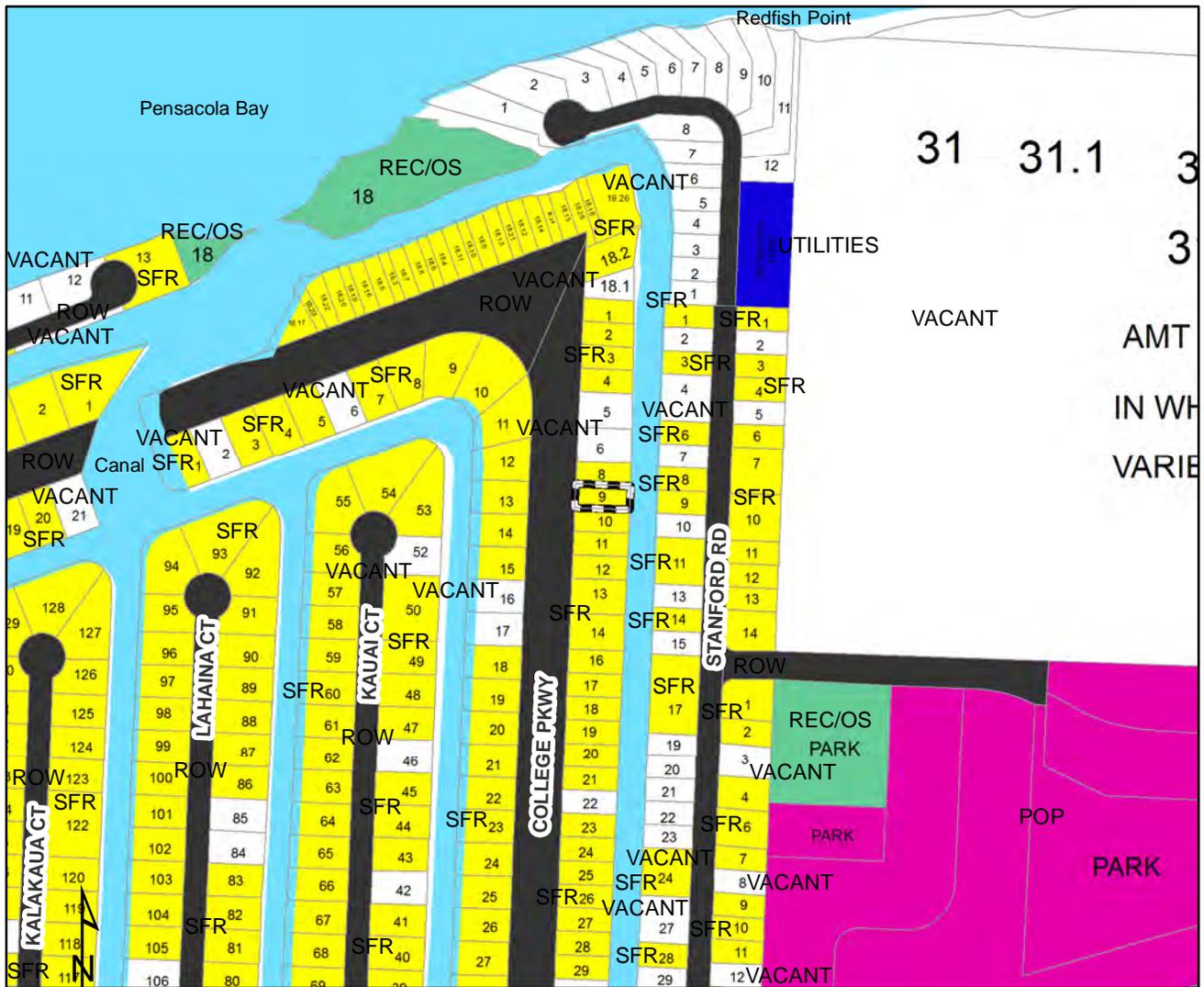


Legend

 PendingZBNovember

Disclaimer:
The GIS maps and data distributed by the Santa Rosa County BOCC departments are derived from a variety of public and private sector sources considered to be dependable, but the accuracy, completeness, and currency thereof are not guaranteed. The Santa Rosa County Commission makes no warranties, expressed or implied, as to the accuracy, completeness, currency, reliability, or suitability for any particular purpose of information or data contained in or generated from the County Geographic Database. Additionally, the Santa Rosa Commission or any agent, servant, or employee thereof assume no liability associated with the use of this data, and assume no responsibility to maintain it in any matter or form.

2015-V-091 Existing Land Use

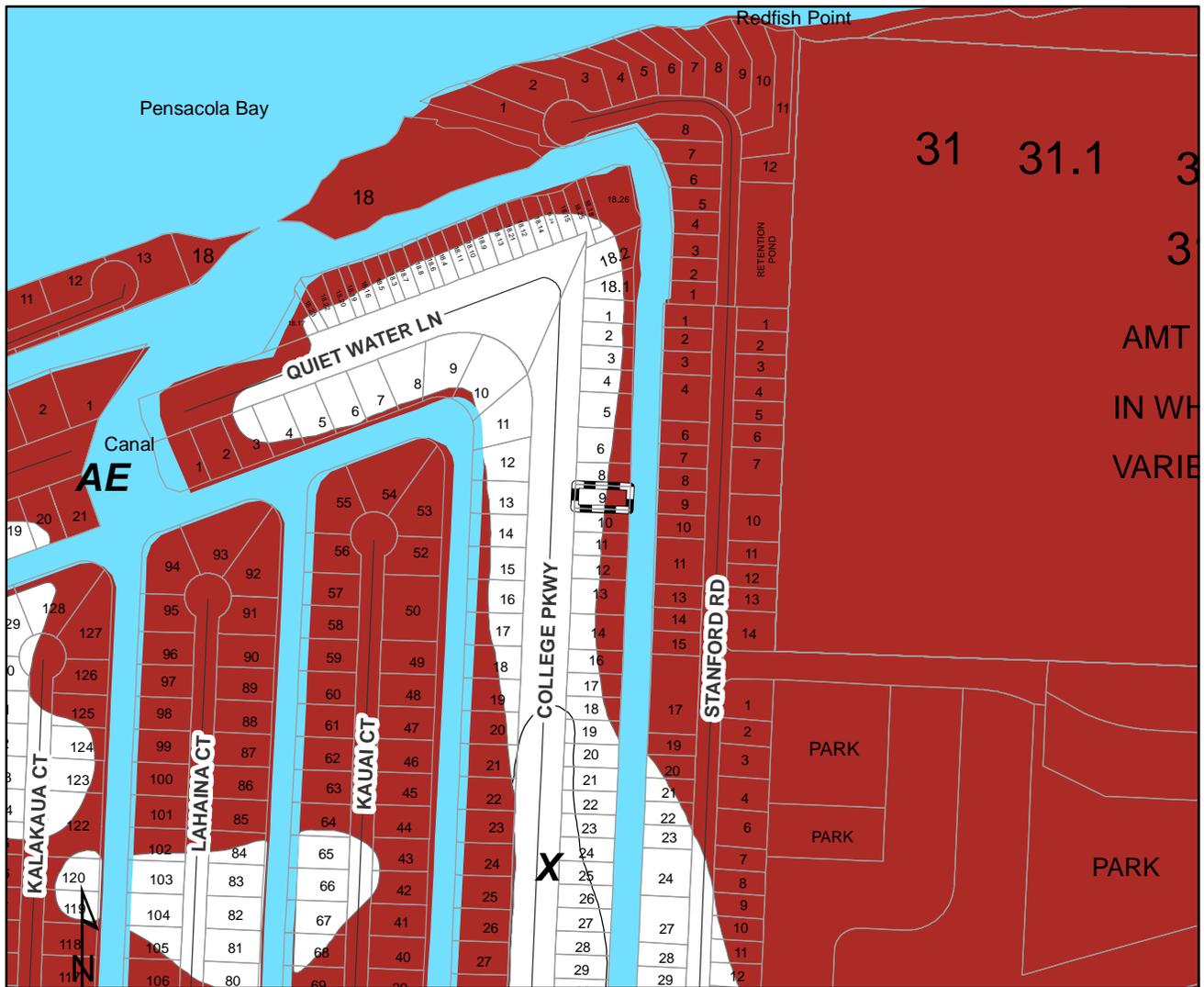


Legend

	Pending ZB November	Existing Land Use		Institutional		Recreation/Open Space
	CATEGORY		Multi-Family Residential <5		Right of Way	
		Agriculture		Multi-Family Residential >5		Single Family Residential
		Agriculture, Homestead		Military		Silviculture
		Condo's/Townhomes		Mixed Residential/Commercial		Uncategorized
		City		Office		Utilities
		Commercial		Public Owned Property		Vacant
		Industrial		Rail		Water
				Recreation/Commercial		

Disclaimer:
The GIS maps and data distributed by the Santa Rosa County BOCC departments are derived from a variety of public and private sector sources considered to be dependable, but the accuracy, completeness, and currency thereof are not guaranteed. The Santa Rosa County Commission makes no warranties, expressed or implied, as to the accuracy, completeness, currency, reliability, or suitability for any particular purpose of information or data contained in or generated from the County Geographic Database. Additionally, the Santa Rosa Commission or any agent, servant, or employee thereof assume no liability associated with the use of this data, and assume no responsibility to maintain it in any matter or form.

2015-V-091 Flood Zone

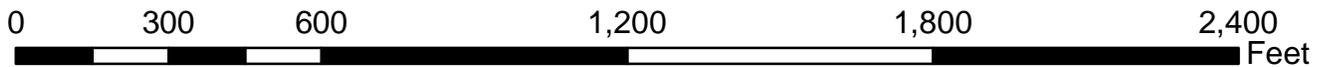
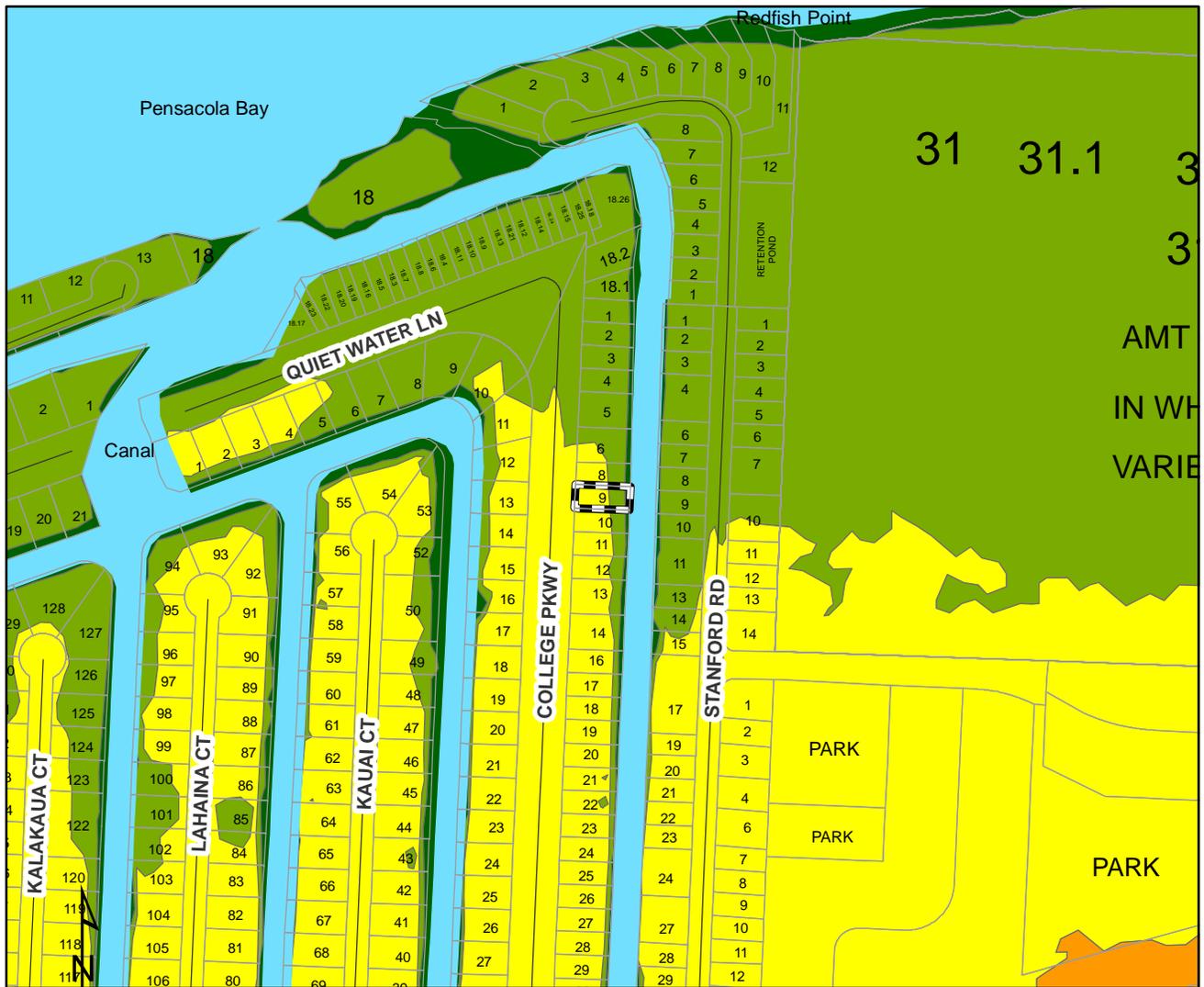


Legend

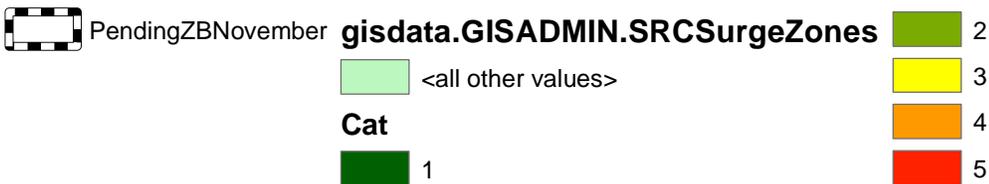
-  Pending ZB November
- DFIRM**
- FLOOD_ZONE**
-  AE - 1% Annual Chance of Flood - BFE's
-  VE - A 1% Annual Chance of Flood - Storm Waves
-  0.2% Annual Chance of Flood (500 Year)
-  A - 1% Annual Chance of Flood - No BFE's
-  Not in the FloodPlain

Disclaimer:
The GIS maps and data distributed by the Santa Rosa County BOCC departments are derived from a variety of public and private sector sources considered to be dependable, but the accuracy, completeness, and currency thereof are not guaranteed. The Santa Rosa County Commission makes no warranties, expressed or implied, as to the accuracy, completeness, currency, reliability, or suitability for any particular purpose of information or data contained in or generated from the County Geographic Database. Additionally, the Santa Rosa Commission or any agent, servant, or employee thereof assume no liability associated with the use of this data, and assume no responsibility to maintain it in any matter or form.

2015-V-091 Storm Surge Zone



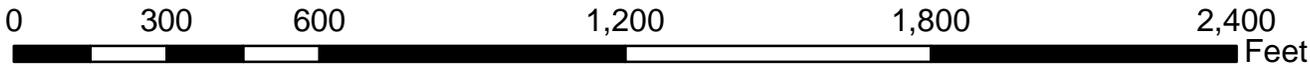
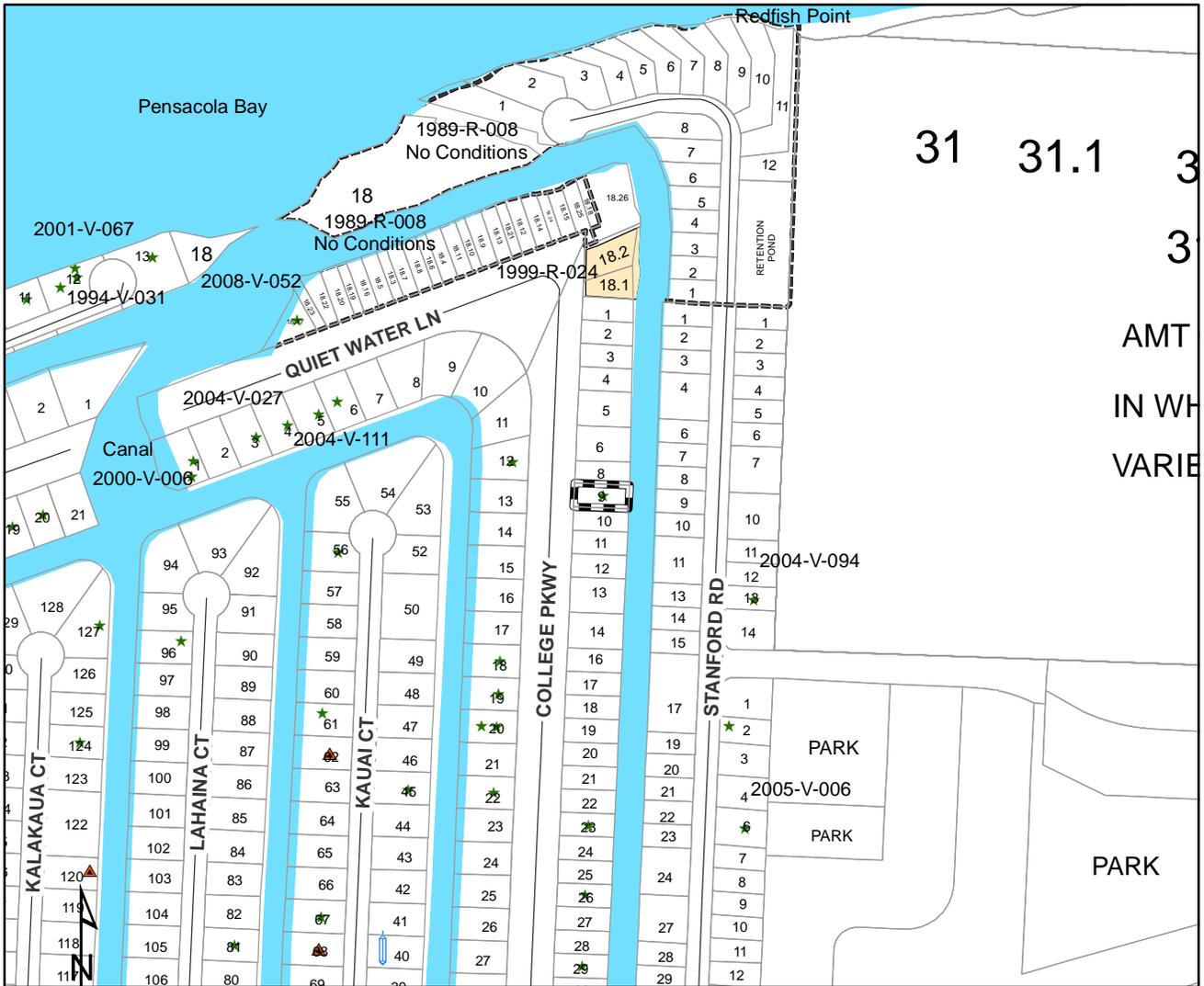
Legend



Disclaimer:

The GIS maps and data distributed by the Santa Rosa County BOCC departments are derived from a variety of public and private sector sources considered to be dependable, but the accuracy, completeness, and currency thereof are not guaranteed. The Santa Rosa County Commission makes no warranties, expressed or implied, as to the accuracy, completeness, currency, reliability, or suitability for any particular purpose of information or data contained in or generated from the County Geographic Database. Additionally, the Santa Rosa Commission or any agent, servant, or employee thereof assume no liability associated with the use of this data, and assume no responsibility to maintain it in any matter or form.

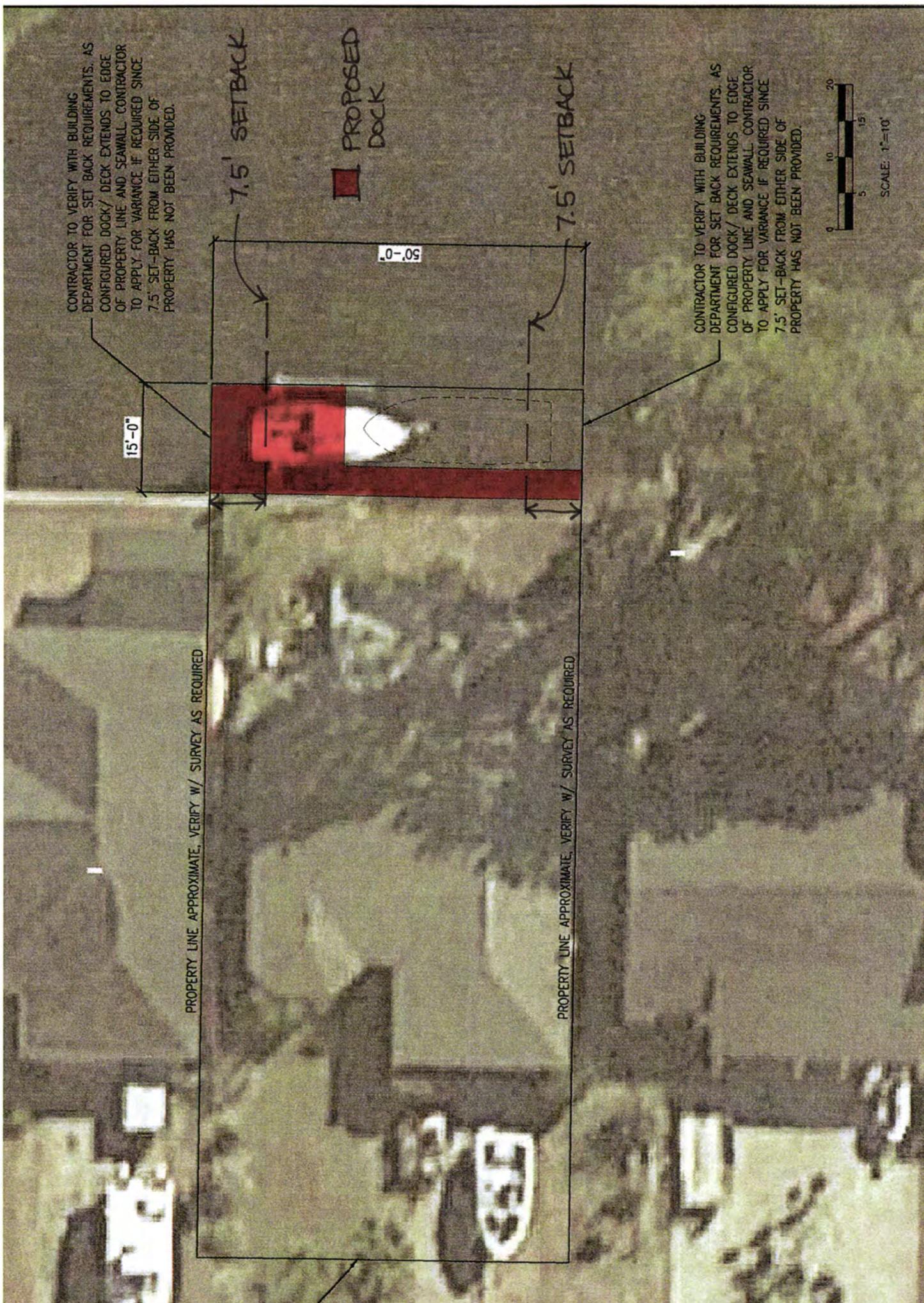
2015-V-091 Zoning Board Issues



Legend

- | | | | | |
|---|---|-------------------|---|----------------|
|  | Pending ZB November | Variations |  | Setbacks |
| | | Type |  | Sign Face Area |
| |  | Acc Structure |  | Wall Signs |
| |  | Fence Height |  | Other |
| |  | Height |  | Pier Length |

Disclaimer:
The GIS maps and data distributed by the Santa Rosa County BOCC departments are derived from a variety of public and private sector sources considered to be dependable, but the accuracy, completeness, and currency thereof are not guaranteed. The Santa Rosa County Commission makes no warranties, expressed or implied, as to the accuracy, completeness, currency, reliability, or suitability for any particular purpose of information or data contained in or generated from the County Geographic Database. Additionally, the Santa Rosa Commission or any agent, servant, or employee thereof assume no liability associated with the use of this data, and assume no responsibility to maintain it in any matter or form.



CONTRACTOR TO VERIFY WITH BUILDING DEPARTMENT FOR SET BACK REQUIREMENTS. AS CONFIGURED DOCK/ DECK EXTENDS TO EDGE OF PROPERTY LINE AND SEAWALL. CONTRACTOR TO APPLY FOR VARIANCE IF REQUIRED SINCE 7.5' SET-BACK FROM EITHER SIDE OF PROPERTY HAS NOT BEEN PROVIDED.

CONTRACTOR TO VERIFY WITH BUILDING DEPARTMENT FOR SET BACK REQUIREMENTS. AS CONFIGURED DOCK/ DECK EXTENDS TO EDGE OF PROPERTY LINE AND SEAWALL. CONTRACTOR TO APPLY FOR VARIANCE IF REQUIRED SINCE 7.5' SET-BACK FROM EITHER SIDE OF PROPERTY HAS NOT BEEN PROVIDED.

PROPERTY LINE APPROXIMATE, VERIFY W/ SURVEY AS REQUIRED

PROPERTY LINE APPROXIMATE, VERIFY W/ SURVEY AS REQUIRED

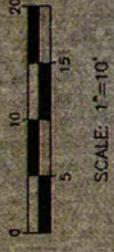
PROPOSED DOCK

7.5' SETBACK

7.5' SETBACK

15'-0"

50'-0.00



SITE LOCATION MAP





Santa Rosa County Development Services



Beckie Cato, AICP
Planning and Zoning Director

Santa Rosa County Public Service Complex
6051 Old Bagdad Highway, Suite 202 Milton, Florida 32583
www.santarosa.fl.gov
Office: (850) 981-7000

Rhonda C. Royals
Building Official

Variance Application

* Application Instructions begin on Page 5

** For Official Use Only **	
Application No. <u>2015 -V- 091</u>	Date Received: <u>9/30/15</u>
Review Fee: <u>235 + 36.80</u>	Receipt No.: _____
Zoning District: <u>R1</u>	FLUM Designation: <u>SPR</u>

±0.126 VD#5

Property Owner Property Owner Name: THOMAS GARY HINES
Address: 6516 TALBOT TRAIL
COLLEYVILLE TX 76034
Phone: 817-401-2248 Fax: 817-268-5942
Email: GHINES@ROADRUNNERCOURIER.COM

Applicant Check here and skip this section if the applicant is the Property Owner. Otherwise, complete this section and provide authorization from the Property Owner giving the Applicant the authority to pursue variance approvals.

Company: CARTER ENVIRONMENTAL
Contact Name: CHRIS CARTER
Address: 1680 COLLEGE PKWY
GULF BREEZE FL 32563
Phone: 850-962-4550 Fax: _____
Email: THE SKIBUFF@YAHOO.COM

Property Information Parcel ID Number(s): 30-28-28-0302-00A00-0090
-OR-
Street Address of property for which the Variance is requested:
1680 COLLEGE PKWY
GULF BREEZE FL 32563

Variance Request

What is the present use of the property? RESIDENCE CANAL FRONT WITH REQUESTED DOCK

Please describe the requested variance, including exact dimensions and purpose of the variance.

SEE ENGINEERS PLANS

Please describe the special circumstances or conditions that apply to the building or land in questions which necessitate the variance request.

THERE IS A NEW SET BACK REQUIREMENT OF 7' ON CANAL END OF PROPERTY. WE JUST WANT TO REPLACE THE DOCK WE HAD PRIOR TO IVAN DESTROYING IT

Are the special conditions or circumstances described above the result of a proposed or prior action of the applicant? Yes No

Please explain why the literal enforcement of the provisions of the Land Development Code will result in unnecessary hardship.

WE JUST WANT WHAT WE HAD BEFORE. WE ARE NOT ASKING FOR EXTRA PROVISIONS

Variance Provisions And Criteria

Do you currently have a Code Enforcement Violation which pertains to this Variance request? Yes No

I understand that all decisions made by the Zoning Board of Adjustment are subject to appeal and that their decision does not become effective until the appeal time has successfully passed. Yes No

I understand that approval by the Zoning Board of Adjustments does not authorize construction and/or land clearing to occur on this site and that additional approvals and Building Permits may be required. Yes No

I understand that determinations by the Zoning Board of Adjustment are valid for 36 months. Yes No

Certification and Authorization

By my signature hereto, I do hereby certify that the information contained in this application and the required supplemental materials is true and correct, and understand that deliberate misrepresentation of such information will be grounds for denial or reversal of this application and/or revocation of any approval based upon this application. I do hereby authorize County staff to enter upon my property at any reasonable time for purposes of site inspection.

THOMAS HINES
Applicant Name (Type or Print)


Applicant Signature

OWNER
Title (if applicable)

9-30-15
Date

GENERAL NOTES

- TO THE BEST OF OUR KNOWLEDGE, THE STRUCTURAL PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE FOLLOWING GOVERNING COUNTY WITH THE APPLICABLE REVISIONS OF THE FOLLOWING GOVERNING CODES WITH SITE SPECIFIC STATE AMENDMENTS:
 - FLORIDA BUILDING CODE 2014 EDITION
 - MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES (ASCE 7-10)
- THE CONTRACTOR SHALL REVIEW ALL CONTRACT DOCUMENTS, INCLUDING DIMENSIONS, AND SITE CONDITIONS AND COORDINATE WITH FIELD DIMENSIONS AND PROJECT SHEET DIMENSIONS PRIOR TO CONSTRUCTION. ANY AND ALL DISCREPANCIES SHALL BE SUBMITTED IN WRITING TO ARCHITECT/ENGINEER DO NOT WORRY OR CHANGE THE CONTRACTOR'S SOLELY RESPONSIBLE FOR DAMAGE OR INJURY DUE TO HIS ACT OR NEGLIGENCE FROM THE STRUCTURAL ENGINEER'S RECORD.
- RESOLVE ANY CONFLICTS ON THE DIMENSIONS OR SPECIFICATIONS DISCOVERED DURING THE BIDDING PERIOD WITH THE ARCHITECT / ENGINEER. THESE SHALL BE IMMEDIATELY COMMUNICATED IN WRITING TO THE ARCHITECT / ENGINEER.
- IT SHALL BE THE RESPONSIBILITY OF THE SUBCONTRACTOR TO LOCATE ANY AND ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT, AND TO PROTECT EXISTING FACILITIES, STRUCTURES AND UTILITIES LINES FROM ALL DAMAGE. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES FROM THE STRUCTURAL ENGINEER'S RECORD.
- THE STRUCTURE SHOWN ON THESE DRAWINGS IS STRUCTURALLY SOUND ONLY IN ITS EXISTING CONDITION. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BRACING TO STABILIZE THE BUILDING DURING CONSTRUCTION.
- WHERE A CONSTRUCTION DETAIL IS NOT SHOWN OR NOTED, THE DETAIL SHALL BE THE SAME AS FOR OTHER SIMILAR WORK DETAILS LABELED TYPICAL DETAILS ON THESE DRAWINGS APPLY TO ALL SITUATIONS THAT ARE THE SAME OR SIMILAR TO SPECIFICALLY DETAILED. ANY QUESTIONS REGARDING APPLICABILITY OF TYPICAL DETAILS SHALL BE RESOLVED BY THE ARCHITECT / ENGINEER.
- DESIGN LOADS CONTAIN:
 - BUILDING OCCUPANCY CATEGORY (IBC 1604.5).....
 - DECK LIVE LOAD 40 PSF
 - DECK DEAD LOAD 20 PSF
 - BOAT HOIST LOAD 20 PSF
 - EQUIPMENT
 - GRAVITY LOADS:
 - DECK LIVE LOAD 40 PSF
 - DECK DEAD LOAD 20 PSF
 - BOAT HOIST LOAD 20 PSF
 - EQUIPMENT
- DO NOT SCALE THE DRAWINGS. USE DIMENSIONS SHOWN ON PLAN IN CONJUNCTION WITH THE ARCHITECTURAL DOCUMENTS. IN A CONFLICT CASES, NOTIFY THE ARCHITECT/ENGINEER IN WRITING FOR RESOLUTION OF ANY AND ALL CONFLICTS.
- CONTRACTOR SHALL INSTALL ALL SHEET PILING IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- SHEET PILE MATERIAL SHALL BE DIMENSIONED BY THE SHEET PILE MANUFACTURERS. SPECIALLY ENGINEER. THE ENGINEER SHALL PROVIDE SHEET PILE TO RESIST APPLICABLE SITE SPECIFIC LOADS.

PILE FOUNDATIONS

- FOUNDATION DESIGN IS BASED ON THE ASSIGNED LOADS SHOWN BELOW. THESE FOUNDATION LOADS SHALL BE VERIFIED IF REQUIRED BY THE BUILDING DEPARTMENT BY A GEOTECHNICAL ENGINEER AND FINAL PILE DETAILS SHALL BE PROVIDED BY THE LICENSED GEOTECHNICAL ENGINEER.
- THE FOUNDATIONS AS SHOWN HAVE BEEN DESIGNED FOR AN ALLOWABLE PILE CAPACITY AS GIVEN BELOW:
 - COMPRESSION 1 TON
 - LATERAL 1 TONS
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE REQUIRED SPACINGS, COORDINATE PILE EMBEDMENT AND SPACINGS WITH THE GEOTECHNICAL REPORT. RECOMMENDATIONS IN THIS REPORT SHALL BE FOLLOWED. THE MINIMUM EMBEDMENT OF PILES SHALL BE 20' OR AS REQUIRED BY THE GEOTECHNICAL ENGINEER TO DEVELOP THE REQUIRED PILE CAPACITIES.
- PILES SHALL BE HAVE A MINIMUM 8" BUILT DIAMETER AND 6" TP.
- PILES SHALL BE PRESSURE TREATED - 080 COA
- IF SOIL IS DESIGNATED DURING EXCAVATION, RECONTRACT TO REQUIRED DENSITY.
- DO NOT EXCAVATE FOR ANY PURPOSE WITHIN ONE FOOT OF THE ANGLE OF REPOSE OF ANY SOIL BEARING FOOTING OR FOUNDATION UNLESS SUCH FOOTING OR FOUNDATION IS FIRST PROPERLY PROTECTED AGAINST SETTLEMENT.
- THE CONTRACTOR IS RESPONSIBLE FOR THE DISPOSAL OF ALL ACCUMULATED WATER FROM EXCAVATIONS AND DEMOLITION OPERATIONS IN SUCH A MANNER AS NOT TO CAUSE INCONVENIENCE TO THE WORK AND DAMAGE TO THE STRUCTURAL ELEMENTS OVER EXCAVATIONS.

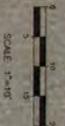
FOUNDATION NOTES

- SHEET PILE ANCHORAGE IS BASED ON CLEAN CHANGESLESS SOILS WITH A MINIMUM FRICTION ANGLE OF 32°
- PLACE ONLY THREADED ROD AND PILE WITHIN 2' OF CORNER OR END OF WALL. TYPICAL FOR SHEET PILE HEADS.
- SHEET PILE ENGINEER TO DESIGN RETAINING WALL. SECURE WITH MINIMUM SPACING OF 100PSF.
- ALL LUMBER MUST BE TREATED FOR SALT WATER CONTACT.
- ALL EXPOSED FASTENERS AND THREADED ROD MUST BE STAINLESS STEEL.
- CONTRACTOR TO USE UNIVERSAL CORNER PEECS AT 90° INTERSECTIONS.
- CONTRACTOR SHALL NOTIFY THE ENGINEER IF SITE CONDITIONS VARY FROM THE ASSUMED DESIGN.



1 SITE LOCATION MAP

CONTRACTOR TO VERIFY WITH BUILDING DEPARTMENT FOR SET BACK REQUIREMENTS. AS COMPLETED DOCK / DOCK EXTENDS TO EDGE OF PROPERTY LINE AND SHALL. CONTRACTOR TO APPLY FOR VARIANCE IF REQUIRED SINCE 7.5 SET-BACK FROM ENTER SIDE OF PROPERTY HAS NOT BEEN PROVIDED.

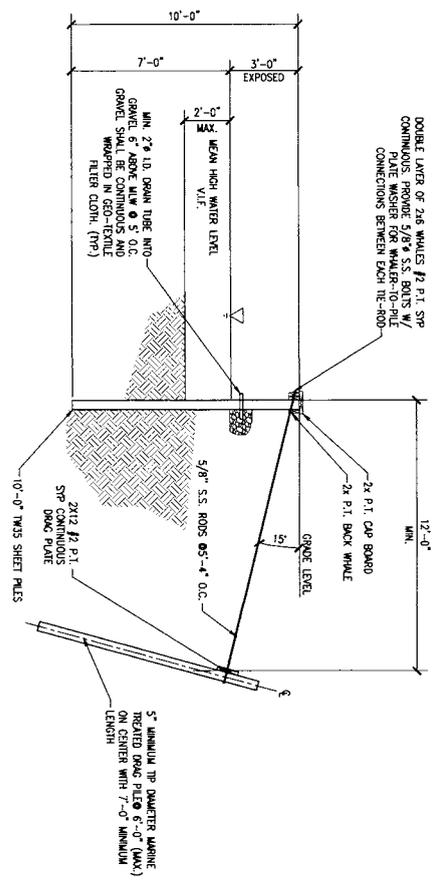


DESIGNED BY DLM	CHECKED BY DLM	DATE SEPTEMBER 14, 2015
SHEET TITLE GENERAL NOTES & DOCK PLAN		
SHEET S-1		
SHEET 1 OF 3		

GARY HINES, DOCK AND RETAINING WALL
1680 COLLEGE PKWY.
GULF BREEZE, FLORIDA

REVISION #	REVISION DESCRIPTION

MCCARTHY ENGINEERING INC.
1414 COLLEGE PARKWAY
GULF BREEZE, FLORIDA 32561
407.699.7222 FAX 407.699.7223



1 SHEET PILE DETAIL
SCALE: 3/8" = 1'-0"

GENERAL NOTES

1. TO THE BEST OF OUR KNOWLEDGE, THE STRUCTURAL PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE (LOCAL BUILDING CODE 2014 EDITION).
2. ALL OTHER APPLICABLE FEDERAL, STATE AND LOCAL CODES, STATUTES, REGULATIONS AND LAWS.
3. ALL REFERENCED STANDARDS REFER TO THE EDITION IN FORCE AT THE TIME THESE PLANS AND SPECIFICATIONS ARE ISSUED.
4. REVIEW ALL CONTRACT DOCUMENTS, DIMENSIONS AND SITE CONDITIONS AND CORRELATE WITH FIELD DIMENSIONS PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES IN WRITING TO ENGINEER. DO NOT CHANGE SIZE OR DIMENSIONS OF STRUCTURAL MEMBERS WITHOUT WRITTEN INSTRUCTIONS FROM THE STRUCTURAL ENGINEER OR RECORD.
5. PROTECT EXISTING FACILITIES, STRUCTURES AND UTILITY LINES FROM ALL DAMAGE. EACH CONTRACTOR SHALL PROTECT HIS WORK, ADJACENT PROPERTY AND THE PUBLIC. EACH CONTRACTOR IS SOLELY RESPONSIBLE FOR DAMAGE OR INJURY DUE TO HIS ACT OR NEGLIGENCE.
6. CONTRACTOR SHALL INSTALL ALL SHEET PILES IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
7. SHEET PILE MATERIAL SHALL BE FURNISHED BY THE SHEET PILE SUPPLIER. THE CONTRACTOR SHALL VERIFY THE DIMENSIONS SHALL PROMOTE SHEET PILE TO BESSY APPLICABLE SITE SPECIFIC LAWS.

FOUNDATION NOTES

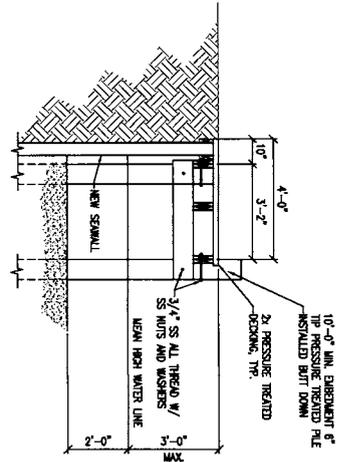
1. SHEET PILE ANCHORAGE IS BASED ON CLEAN CHOCKLESS SOILS WITH A MAXIMUM FRICTION ANGLE OF 30°.
2. PLACE 5/8" THREADED ROD AND NUT WITHIN 2' OF CORNER OR END OF WALL, TYPICAL.
3. SHEET PILE ENGINEER TO DESIGN RETAINING WALL SEGMENT WITH MINIMUM SPACING OF 100'SF.
4. ALL LUMBER MUST BE TREATED FOR SALT WATER CONTACT.
5. ALL FASTENERS AND THREADED ROD MUST BE STAINLESS STEEL.
6. CONTRACTOR TO USE UNIVERSAL CORNER PIPES AT 90° INTERSECTIONS.
7. CONTRACTOR SHALL NOTIFY THE ENGINEER IF SITE CONDITIONS VARY FROM THE ASSUMED DESIGN.

BENTLEY
ENGINEERING
 1000 BENTLEY DRIVE
 SUITE 100
 GULF BREEZE, FLORIDA 32561
 TEL: 904.333.3333
 FAX: 904.333.3334
 WWW.BENTLEYENGINEERING.COM

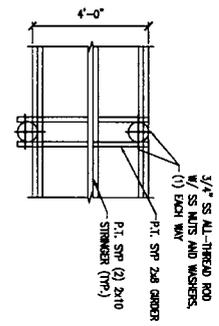
REVISION #	REVISION DESCRIPTION

GARY HINES, DOCK AND RETAINING WALL
 1680 COLLEGE PKWY.
 GULF BREEZE, FLORIDA

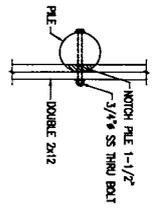
DESIGNED BY: D.M.M.
 DRAWN BY: W.H.I.
 CHECKED BY: D.M.M.
 DATE: SEPTEMBER 16, 2015
 SHEET TITLE: SHEET PILE DETAILS
 SHEET: S-2
 SHEET 2 OF 3



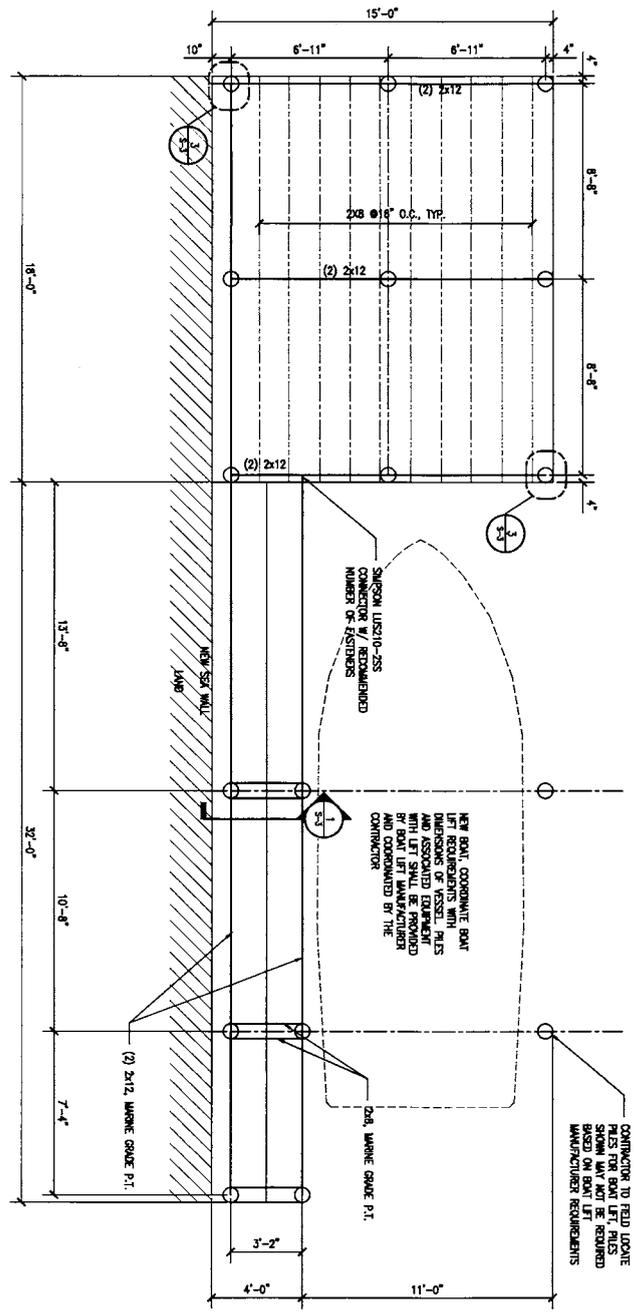
1 DECK SECTION DETAIL
SCALE: 1/2"=1'-0"



2 DECK PLAN DETAIL
SCALE: 1/2"=1'-0"



3 LEDGER TO PILE DETAIL
SCALE: 1/2"=1'-0"



4 DECK FRAMING PLAN
SCALE: 3/8"=1'-0"

	GARY HINES, DOCK AND RETAINING WALL 1680 COLLEGE PKWY. GULF BREEZE, FLORIDA	REVISION # REVISION DESCRIPTION	DATE 7/20/14
	DRAWN BY: DLM CHECKED BY: WHI DATE: SEPTEMBER 16, 2013	SHEET TITLE: DOCK FRAMING DETAILS S-3	SHEET #: 3 of 3

