

## STAFF ANALYSIS

### Variance 2016-V-009

#### General Information:

<b>Project/Applicant:</b>	Santa Rosa Sound RV Park/Craig Kruse of RV Resort of Santa Rosa, LLC
<b>Project Location:</b>	8315 Navarre Parkway, Navarre, FL
<b>Parcel Number:</b>	20-2S-26-0000-01000-0000
<b>Request:</b>	Variance Request to eliminate the setback requirement of 5 feet to 0 feet to accommodate a free standing sign.  (LDC 8.06.01.C)
<b>Zoning District:</b>	HCD-HON (Highway Commercial Development-Heart of Navarre)
<b>Current Conditions:</b>	RV Park



**Land Development Code Criteria:**

8.06.01 On Premises Signs: Permanent on premises signs placed in commercial, industrial and agriculture districts shall conform to the following standards:

C. Set Back - Five (5) feet from any property line measured from the leading edge of the sign or supporting upright which ever protrudes farthest out towards the property line.

**Variance Criteria:**

**2.04.00 SPECIAL EXCEPTIONS, VARIANCES AND CONDITIONAL USES:**

The BOA shall have the following duties and powers:

B. No variances shall be authorized under this provision unless the Board finds that all of the following conditions exist:

1. The special circumstances or conditions applying to the building or land in question are peculiar to such property and do not apply generally to other land or buildings in the vicinity.

**Is this criterion met?            No**

**Staff Analysis: Staff has determined that there no special circumstances regarding the land or building in question, and that this parcel does not possess unique qualities with respect to size or exceptional shallowness that are peculiar to such property and not to other lots within the area.**

**The applicant is seeking relief from the section of the Ordinance which regulates signage setbacks.**

2. The variance is necessary for the preservation and enjoyment of a substantial property right and not merely to serve as a convenience to the applicant.

**Is this criterion met?            No**

**Staff Analysis: This Variance request is not necessary for the preservation and enjoyment of a substantial property right and is merely a convenience to the property owner.**

3. The authorization of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, the danger of fire, imperil the public safety, unreasonably diminish or impair established property values within the surrounding area or in any other respect impair the health, safety, comfort, morals or general welfare of the inhabitants of Santa Rosa County.

**Is this criterion met?            Yes**

**Staff Analysis: It is not anticipated that the authorization of this Variance will impair an adequate supply of light and air to adjacent property, increase congestion to public streets, impair the public safety, or unreasonably diminish or impair established property values within the surrounding area.**

4. The variance will not impair the intent of the zoning ordinance or zoning district map.

**Is this criterion met?            No**

**Staff Analysis: If authorized, a Variance without special circumstances would impair the intent of the zoning ordinance.**

5. To permit the reduction of parking or loading requirements whenever the character or use of a building is such as to render unnecessary the full provision of parking or loading facilities as specified herein or whenever the strict enforcement of such provision would impose an unreasonable hardship as contrasted with merely granting an advantage or convenience.

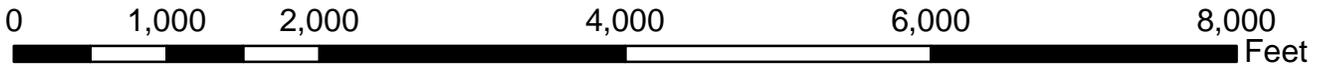
**Is this criterion met?            N/A**

**Staff Analysis: The proposed request does not apply to the reduction of parking or loading requirements nor does it apply to the access management standards which would affect the safety or operation of the roadway.**

**If the Variance is approved, are there any potential building code issues?**

It is not anticipated that there will be any potential building code issues.

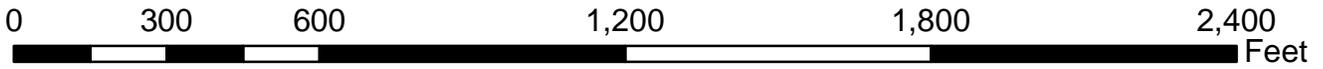
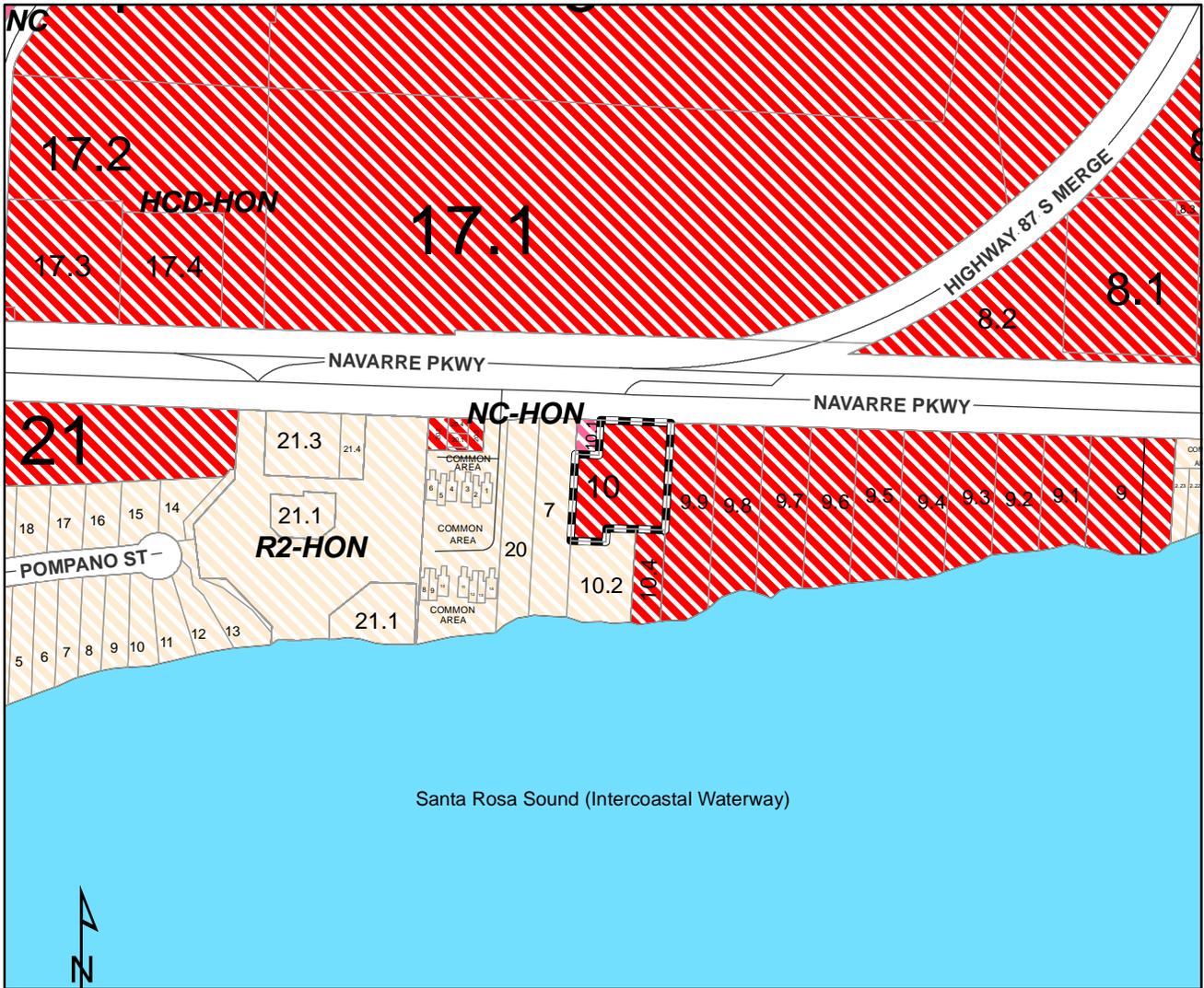
**2016-V-009  
Location**



**Legend**

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# 2016-V-009 Zoning



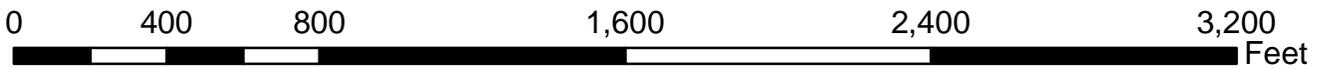
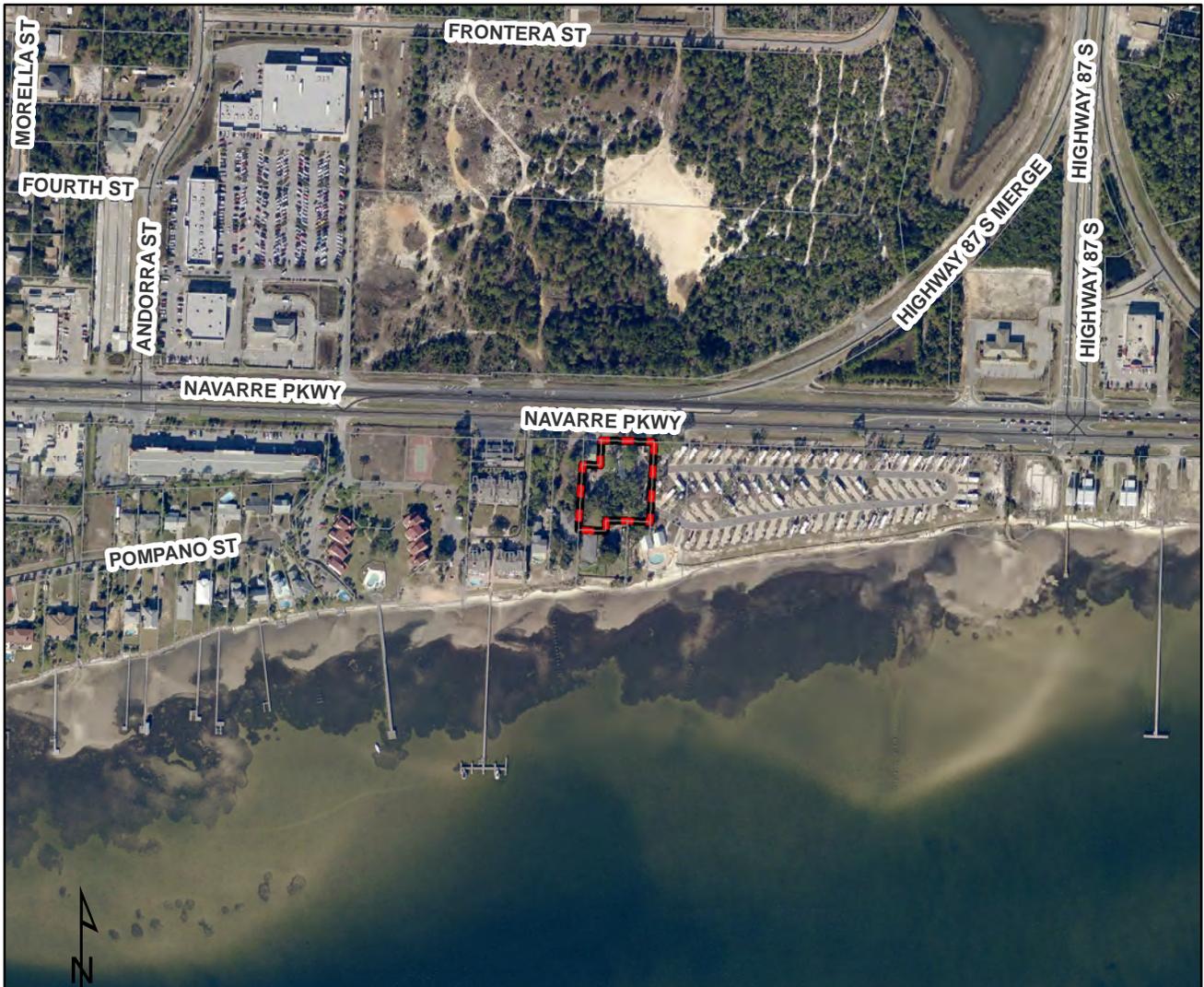
**Legend**

Pending Jan ZB	Agriculture/Rural Residential (AG)	General Industrial (M-2)	Single Family Residential (R-1A)	Hotel - Navarre Beach (HNB)
AG within an Accident Potential Zone (AG-APZ)	M2 within an Accident Potential Zone (M2-APZ)	Mixed Residential Subdivision (R-1M)	Navarre Beach - High Density (NB-HD)	Navarre Beach - Medium Density (NB-MD)
Agriculture (AG2)	Planned Industrial Development (PID)	R1M within an Accident Potential Zone (R1M-APZ)	Navarre Beach - Planned Mixed Use Development (NB-PMUD)	Navarre Beach - Conservation/Recreation (NB-CONREC)
AG2 within an Accident Potential Zone (AG2-APZ)	Neighborhood Commercial (NC)	R1M within the Heart of Navarre (R1M-HON)	Navarre Beach - Single Family (NB-SF)	Navarre Beach - Medium High Density (NB-MHD)
Marina (C-1M)	NC-APZ	Medium Density Residential (R-2)	Navarre Beach - Utilities (NB-U)	State
Marina and Yacht Club (C-2M)	NC within the Heart of Navarre (NC-HON)	R2 within an Accident Potential Zone (R2-APZ)	State within an Accident Potential Zone (STATE-APZ)	RAIL
Historical/Commercial (HC-1)	Passive Park (P-1)	R2 within the Heart of Navarre (R2-HON)	Right of Ways (ROAD)	Military (MIL)
Highway Commercial Development (HCD)	P1 within the Heart of Navarre (P1-HON)	Medium Density Mixed Residential (R-2M)	Water	Municipal Boundaries (CITY)
HCD within an Accident Potential Zone (HCD-APZ)	Active Park (P-2)	R2M within an Accident Potential Zone (R2M-APZ)		
HCD within the Heart of Navarre (HCD-HON)	P2 within an Accident Potential Zone (P2-APZ)	R2M-HON		
HCD with the Navarre Town Center (HCD-NTC)	P2 within the Heart of Navarre (P2-HON)	Medium High Density Residential (R-3)		
Historical/Single Family (HR-1)	Planned Business District (PBD)	Rural Residential Single Family (RR-1)		
Historical/Multiple Family (HR-2)	Planned Unit Development (PUD)	RR1 within an Accident Potential Zone (RR1-APZ)		
Restricted Industrial (M-1)	Single Family Residential (R-1)	Navarre Town Center 1 (TC1)		
M1 within an Accident Potential Zone (M1-APZ)	R1 within an Accident Potential Zone (R1-APZ)	Navarre Town Center 2 (TC2)		
M1 within the Heart of Navarre (M1-HON)	R1 within the Heart of Navarre (R1-HON)	Navarre Beach - Commercial (NB-C)		

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2016-V-009  
2014 Aerial



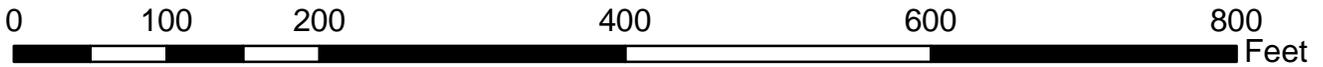
**Legend**

 Pending Jan ZB

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2016-V-009  
2014 Close Up Aerial



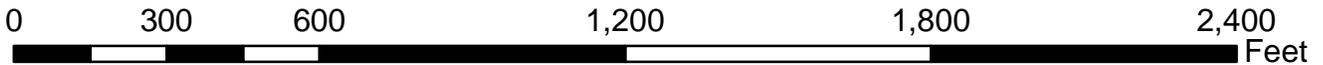
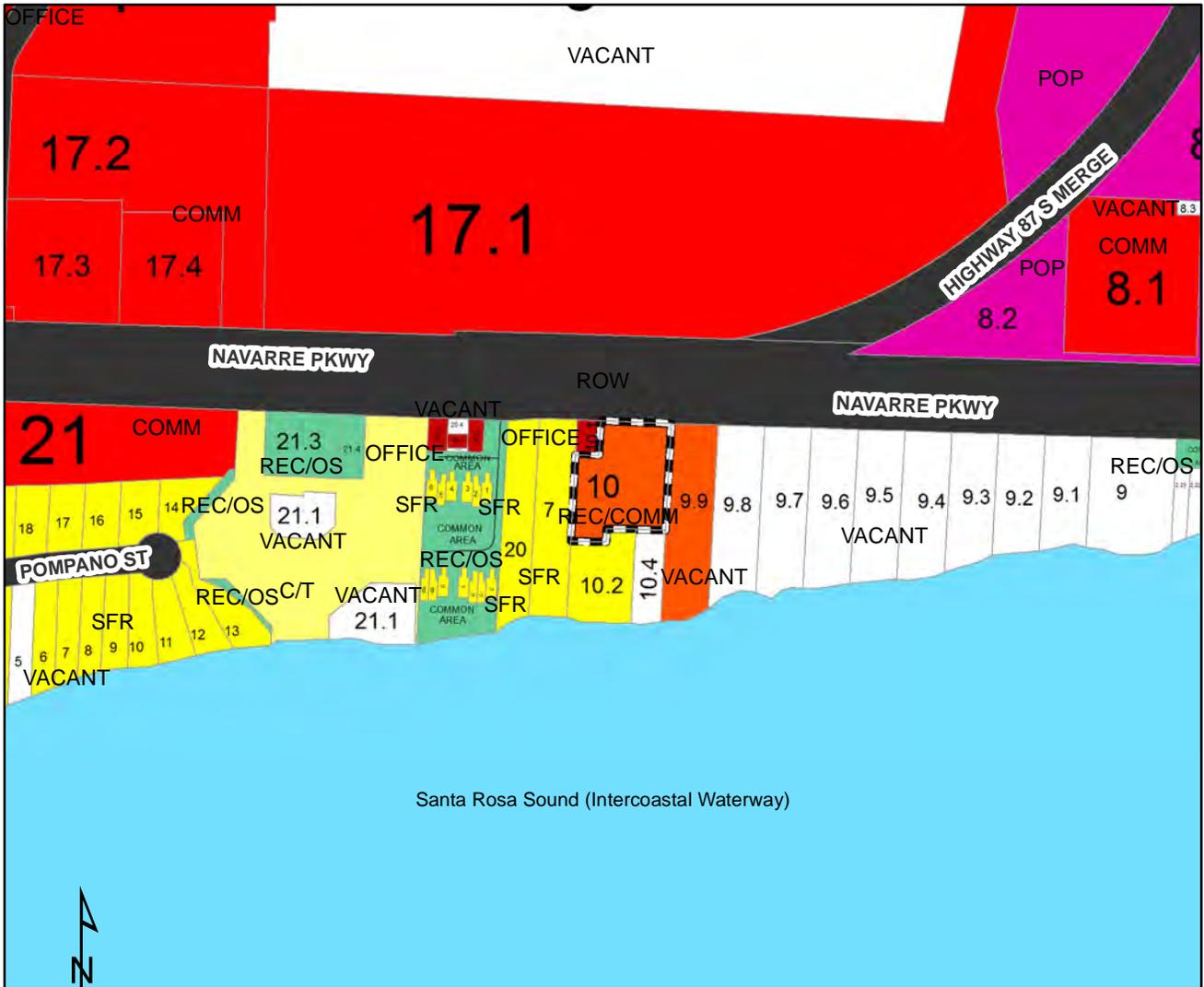
Legend

 Pending Jan ZB

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# 2016-V-009 Existing Land Use



## Legend



Pending Jan ZB

### Existing Land Use

#### CATEGORY

Agriculture

Agriculture, Homestead

Condo's/Townhomes

City

Commercial

Industrial

Institutional

Multi-Family Residential <5

Multi-Family Residential >5

Military

Mixed Residential/Commercial

Office

Public Owned Property

Rail

Recreation/Commercial

Recreation/Open Space

Right of Way

Single Family Residential

Silviculture

Uncategorized

Utilities

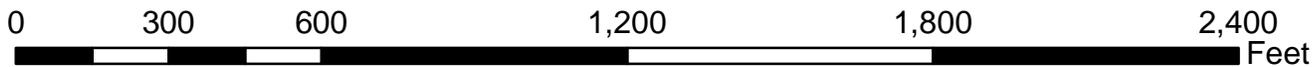
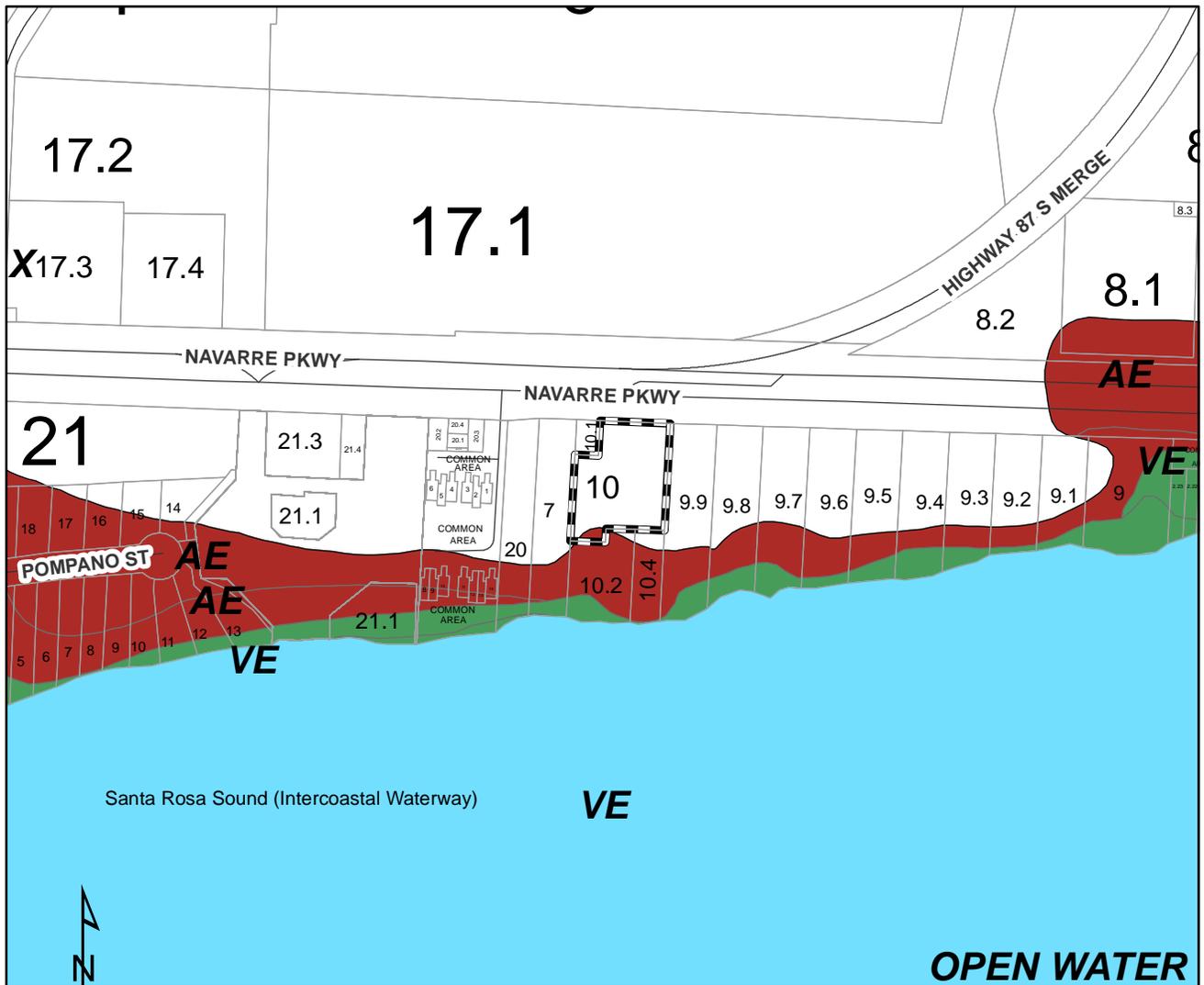
Vacant

Water

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**2016-V-009  
Flood Zone**



**Legend**



Pending Jan ZB **DFIRM**

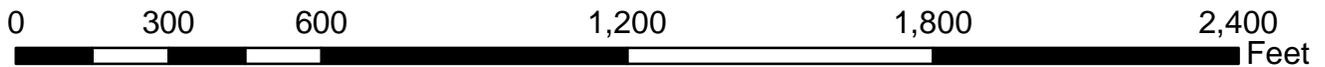
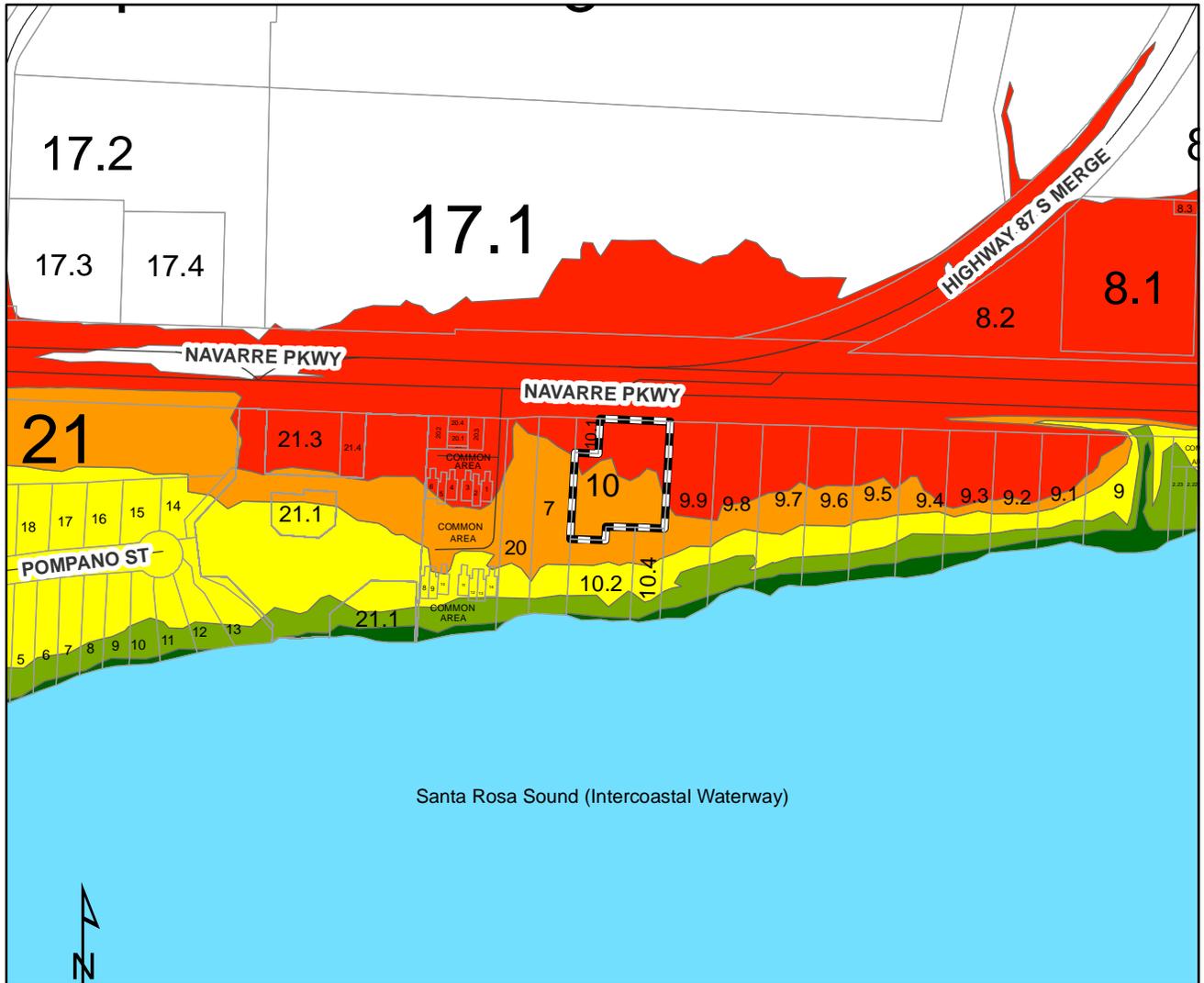
**FLOOD\_ZONE**

-  0.2% Annual Chance of Flood (500 Year)
-  A - 1% Annual Chance of Flood - No BFE's
-  AE - 1% Annual Chance of Flood - BFE's
-  VE - A 1% Annual Chance of Flood - Storm Waves
-  Not in the FloodPlain

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# 2016-V-009 Storm Surge



## Legend

 Pending Jan ZB **gisdata.GISADMIN.SRCSurgeZones**

 <all other values>

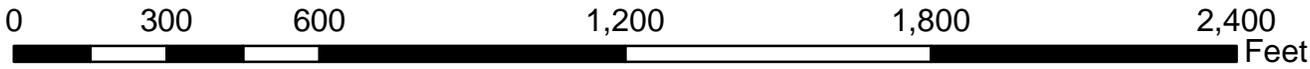
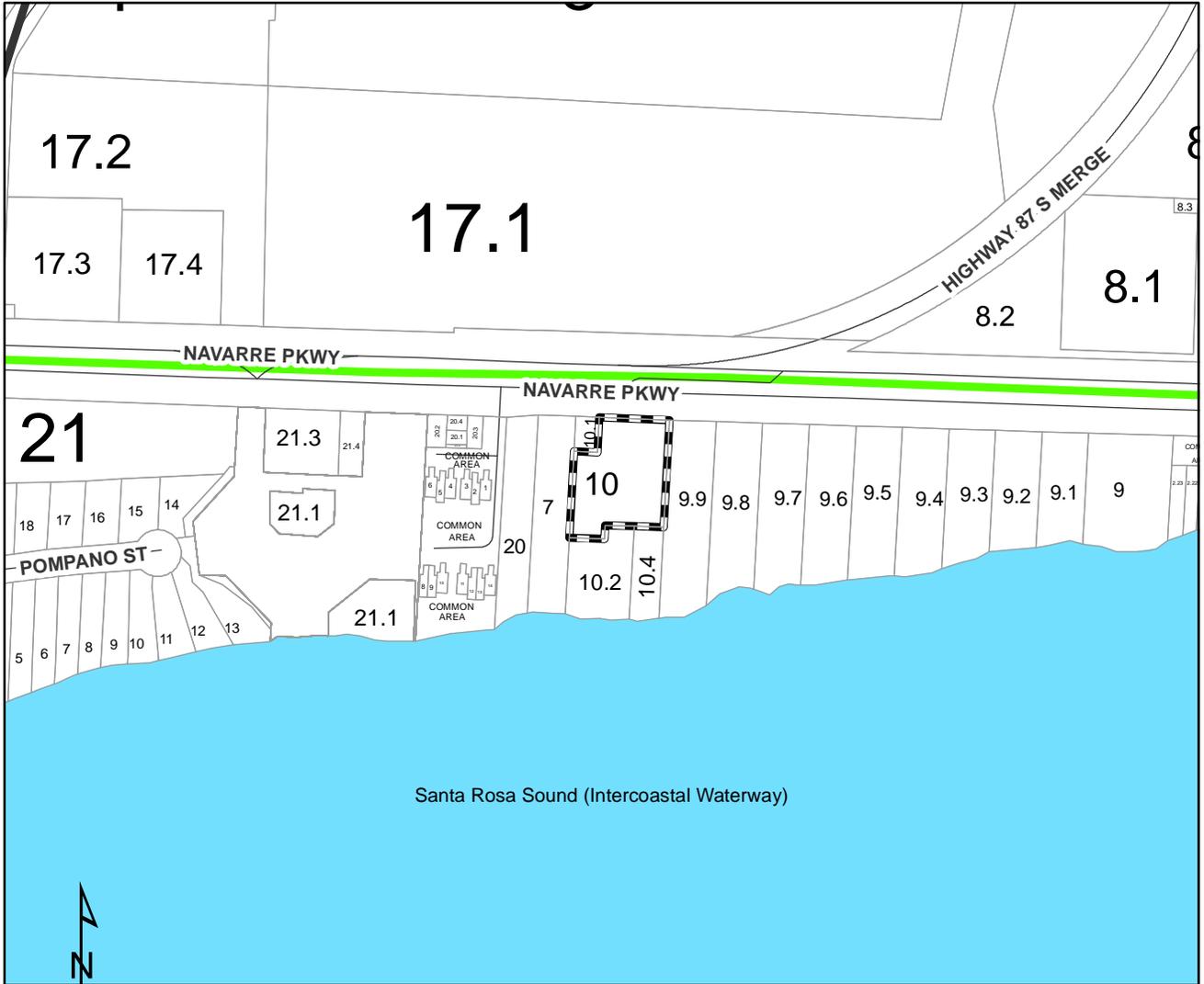
### Cat

-  1
-  2
-  3
-  4
-  5

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# 2016-V-009 Access Management

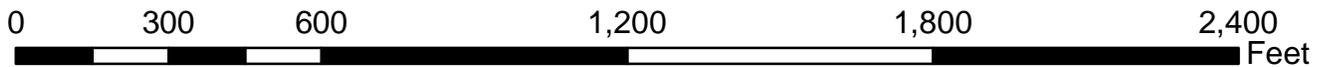
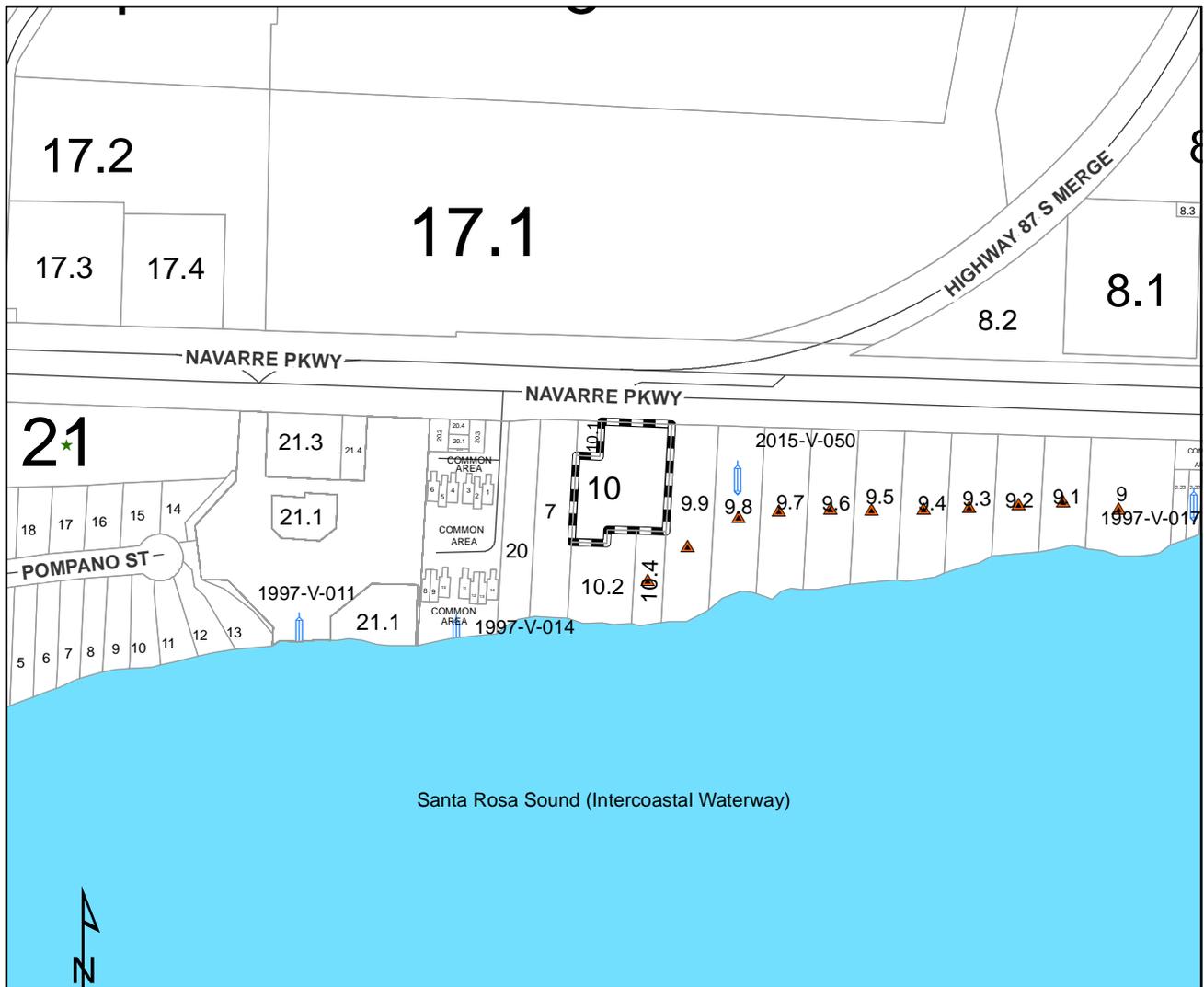


### Legend

-  Pending Jan ZB
-  Principle Arterial - Interstate
-  Major Arterial
-  Minor Arterial
-  Major Collector
-  Major Collector w/Additional Restrictions
-  Minor Collector

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# 2016-V-009 Zoning Board Issues

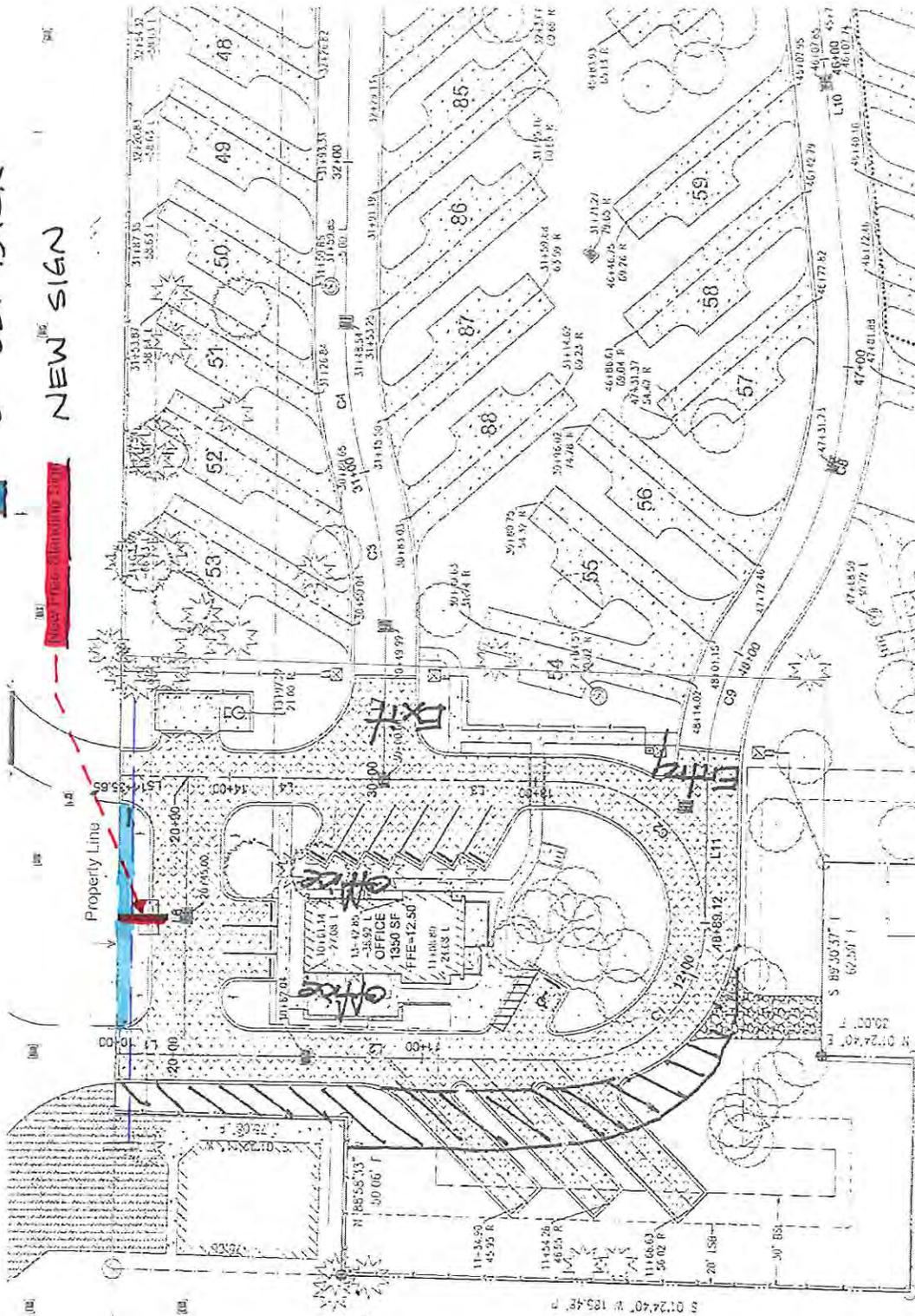


### Legend

- |  |                   |  |
|--|-------------------|--|
|  Pending Jan ZB | <b>Variiances</b> |  Setbacks       |
| <b>Type</b>  |                   |  Sign Face Area |
|  Acc Structure  |                   |  Wall Signs     |
|  Fence Height   |                   |  Other          |
|  Height         |                   |  Pier Length    |

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5' SET BACK  
NEW SIGN



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Customer: Santa Rosa RV  
Created: 09/29/15  
Revised:

Santa Rosa RV  
Site Plan  
8315 Navarre Parkway  
Navarre, FL

Dwg: Site  
Scale: Proportional  
Illustrated by: Ifeife

Complete

P.O. Box 8861 Dothan, AL 36304 P 866.823.9005  
F 334.556.0218 signs@completedesigns.com www.completedesigns.net



Beckle Cato, AICP  
Planning and Zoning Director

# Santa Rosa County Development Services

Santa Rosa County Public Service Complex  
6051 Old Bagdad Highway, Suite 202 Milton, Florida 32583  
www.santarosa.fl.gov  
Office: (850) 981-7000



Rhonda C. Royals  
Building Official

## Variance Application

\* Application Instructions begin on Page 5

** For Official Use Only **	
Application No. <u>2016-V-003</u>	Date Received: <u>12/2/15</u>
Review Fee: <u>\$235 + 9.20</u>	Receipt No.: <u>709</u>
Zoning District: <u>HCD-HON</u>	FLUM Designation: <u>COMM</u>

± 0.991 VD #14

**Property Owner** Property Owner Name: Craig Kruse RV Resort of Santa Rosa LLC  
Address: P.O. Box 519  
Destin, FL 32540  
Phone: 850-598-7400 Fax: \_\_\_\_\_  
Email: kruseflorida@gmail.com

**Applicant**  Check here and skip this section if the applicant is the Property Owner. Otherwise, complete this section and provide authorization from the Property Owner giving the Applicant the authority to pursue variance approvals.

Company: \_\_\_\_\_  
Contact Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

**Property Information** Parcel ID Number(s): 20-25-26-0000-00900-0000  
-OR-  
Street Address of property for which the Variance is requested:

8315 Navarre Pkwy. Navarre FL  
(Vic's of Navarre LLC)  
RV Resort of Santa Rosa LLC

**Variance Request**

What is the present use of the property? RV resort

Please describe the requested variance, including exact dimensions and purpose of the variance.  
To move the free standing sign up to the property line instead of the 5 foot required setback by the city.

Please describe the special circumstances or conditions that apply to the building or land in questions which necessitate the variance request.  
If the sign is at the 5 foot setback, the neighbor's building blocks the signage view from the road. Additionally the required setback puts the sign in the customer's parking lot.

Are the special conditions or circumstances described above the result of a proposed or prior action of the applicant? Yes Yes No     

Please explain why the literal enforcement of the provisions of the Land Development Code will result in unnecessary hardship.  
As stated above, the neighbor's building blocks the signage view from the road. The required 5 foot setback puts the sign in the customer's parking lot.

**Variance Provisions And Criteria**

Do you currently have a Code Enforcement Violation which pertains to this Variance request?  Yes  No

I understand that all decisions made by the Zoning Board of Adjustment are subject to appeal and that their decision does not become effective until the appeal time has successfully passed.  Yes  No

I understand that approval by the Zoning Board of Adjustments does not authorize construction and/or land clearing to occur on this site and that additional approvals and Building Permits may be required.  Yes  No

I understand that determinations by the Zoning Board of Adjustment are valid for 36 months.  Yes  No

**Certification and Authorization**

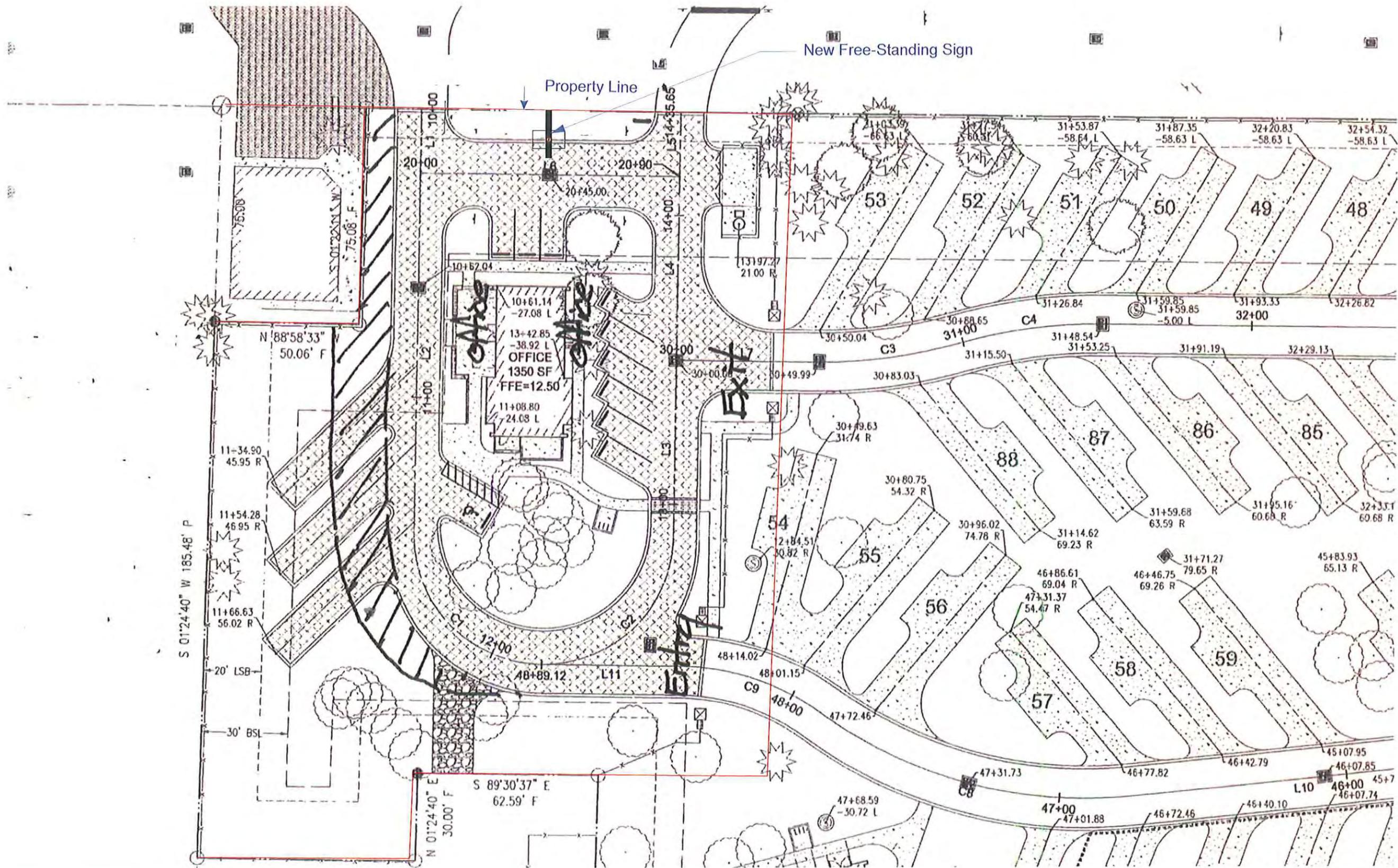
By my signature hereto, I do hereby certify that the information contained in this application and the required supplemental materials is true and correct, and understand that deliberate misrepresentation of such information will be grounds for denial or reversal of this application and/or revocation of any approval based upon this application. I do hereby authorize County staff to enter upon my property at any reasonable time for purposes of site inspection.

Craig J. Kruse  
Applicant Name (Type or Print)

Craig J. Kruse  
Applicant Signature by Jinks Dupis

owner  
Title (if applicable)

12-1-12  
Date



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P.O. Box 8861 Dothan, AL 36304 P 888.823.9005  
F 334.556.0218 signs@completesigns.net www.completesigns.net

Santa Rosa RV  
Site Plan  
8315 Navarre Parkway  
Navarre, FL

Approval: \_\_\_\_\_

Date: \_\_\_\_\_

Customer: Santa Rosa RV  
Created: 09/29/15  
Revised:

Dwg: Site  
Scale: Proportional  
illustrated by: Wells

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