

**REQUEST FOR PROPOSALS FOR OPERATOR / MANAGEMENT  
NAVARRE BEACH PIER, SANTA ROSA COUNTY, FLORIDA**

Notice is hereby given that the Board of County Commissioners of Santa Rosa County, Florida is soliciting proposals for the provision of Operator/Management Services at Navarre Beach Pier, Santa Rosa County, Florida. The successful Operator / Manager shall enter into an agreement with Santa Rosa County which will detail the services to be provided.

All proposals must be in writing and delivered by hand or Fed Ex to the Santa Rosa County Procurement Department, 6495 Caroline Street, Suite G, Milton, Florida, 32570; and must be received by 10:00 a.m., November 19, 2013. All proposals shall be sealed and clearly labeled, "**RFP- Operator/Manager – Navarre Beach Pier**". Submittals shall include one (1) original, eleven (11) copies of the proposal, and one (1) CD with the full proposal included,(each document must be in an individual PDF format file). The proposal will be publicly opened at this time. Only proposals received by the aforesaid time and date will be considered. Proposals received after the time set for opening will be rejected and returned to the submitter.

Specifications may be secured from Santa Rosa County Website ([www.santarosa.fl.gov/bids](http://www.santarosa.fl.gov/bids)) or at the Santa Rosa County Procurement Department at the above address. Telephone (850) 983-1870

Questions concerning this request should be directed to the Santa Rosa County Administrator, Hunter Walker at (850) 983-1855.

The Board of County Commissioners reserves the right to waive irregularities in bids, to reject any or all bids with or without cause, and to award the bid that it determines to be in the best interest of Santa Rosa County.

Santa Rosa County Board of County Commissioners encourages all segments of the business community to participate in its procurement opportunities, including small businesses, minority/women owned businesses, and disadvantaged business enterprises. The Board does not discriminate on the basis of race, color, religion, national origin, disability, sex, or age in the administration of contracts.

By order of the Board of County Commissioners of Santa Rosa County, Florida

**LEGAL NOTICE**

One issue – October 16, 2013 - Press Gazette, October 17, 2013 - Navarre Press, and October 17, 2013 - Gulf Breeze News

Bill and proof to Santa Rosa County Procurement Department, 6495 Caroline Street, Suite G, Milton, Florida, 32570, Attn.: Orrin L. Smith.

**REQUEST FOR PROPOSALS FOR  
MANAGEMENT SERVICES AT NAVARRE PIER**

**OBJECTIVE:** Santa Rosa County is seeking proposals for the management of Navarre Pier and its ancillary facilities as follows:

**SCOPE OF SERVICES:**

- a. Pier admission and management - Open and close the pier at times specified by County; collect the cost of admission as established by County; sell special passes as established by County; and maintain the cleanliness and atmosphere at the pier as a fishing destination in a manner acceptable to County.
- b. Pier store - Maintain a retail store at the pier for the sale of bait, tackle, snacks, souvenirs and related items during hours established by County.
- c. Restaurant - Maintain a restaurant on the pier which offers lunch and dinner during hours established by County. The serving of breakfast would be optional.
- d. Maintain all facilities, including bathrooms which are open to the public, in a clean and orderly manner.
- e. Ensure that all possible measures are taken to safeguard the health and well-being of patrons of the pier, pier store, and restaurant. Ensure that the pier area is maintained and operated in a "family friendly" manner at all times.
- f. Any proposed use of the area under the pier or within the existing "volleyball court" area shall be clearly described.

**TERM** - The term for these services will be for three (3) years with an option to renew for (2) additional 1-year periods upon the agreement of both parties.

**CONDITIONS:**

- a. Pier operations shall be confined to use of the existing infrastructure, and no additions to the structure should be included in submittals. Any renovations/alterations to the existing facilities should be clearly described in the submittal.
- b. Pier management shall maintain commercial general liability insurance endorsed to provide contractual liability with limits in the amount of not less than \$1,000,000 combined single limits with County listed as an additional insured under the commercial general liability. Pier management shall also maintain separate liquor liability insurance with minimum coverage of \$1,000,000, naming County as additional insured.

- c. Pier rules and regulations, including but not limited to hours, holidays, closures, use of amplified sound, and acceptable activities, shall be regulated by the County in its sole discretion. The County reserves the right to establish hours for any portion of the pier facilities; however, County may allow pier management to establish separate hours for the restaurant, provided such hours are acceptable to County.
- d. Pier management shall provide to County records, documents, and books pertaining to fees, percentages, remittances or the like which are owed to County. County shall reserve the right to audit pier management for matters related to County's interests.
- e. Pier management shall present periodic business plans to County.

**WRITTEN RESPONSE:**

Responders' written proposals must be comprehensive, clearly detailing the proposed operation and compensation for said operation. Proposals should include which expenses are to be paid by both County and Pier Management. County reserves the right to interview responders to this RFP but may also make its selection based solely on the written responses. In the event that interviews are granted, responders will not be permitted to materially alter their written responses.





# SANTA ROSA COUNTY BOARD OF COMMISSIONERS

## Procurement Department



JIM WILLIAMSON, District 1  
ROBERT A. "BOB" COLE, District 2  
W. D. "DON" SALTER, District 3  
JIM MELVIN, District 4  
R. LANE LYNCHARD, District 5

Santa Rosa Administrative Offices  
6495 Caroline Street, Suite G  
Milton, FL 32570-4592

Hunter Walker, County Administrator  
Angie Jones, County Attorney  
Jayne N. Bell, OMB Director

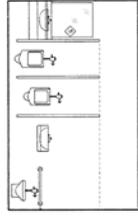
October 14, 2013

### Addendum No. 1

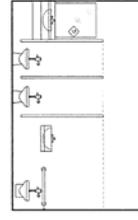
Attached are copies of the pier plans and drawings as contained within the county files.

End of Addendum No. 1

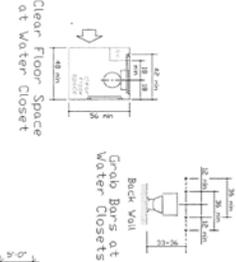
# Pier Store



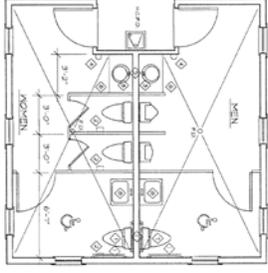
**MEN'S BATHROOM ELEVATION**  
1/4" = 1'-0"



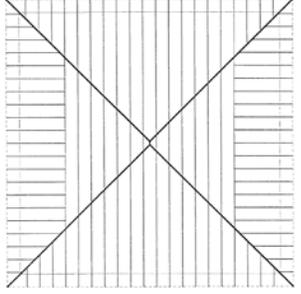
**WOMEN'S BATHROOM ELEVATION**  
1/4" = 1'-0"



**HC WATER CLOSET DETAILS**  
Grab Bars at Water Closets



**BATHROOM FLOOR PLAN**  
1/4" = 1'-0"



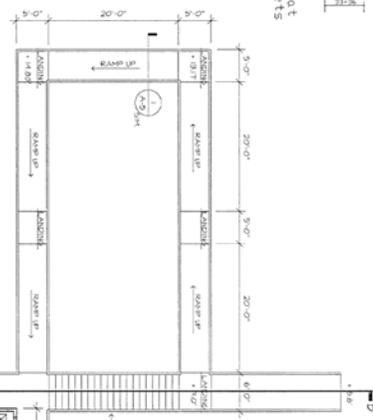
**ROOF FRAMING PLAN**  
1/8" = 1'-0"

**TOILET ROOM ACCESSORY SCHEDULE**

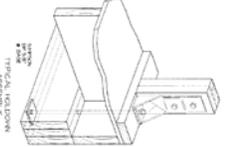
REF. NO.	DESCRIPTION	MODEL NUMBER	MANUFACTURER
1	1. INTERLOCKING GRAB BAR	8-2000	PERI TOILET
2	2. 1/2" X 1/2" X 1/2" METAL PLATE	8-2000	PERI TOILET
3	3. 1/2" X 1/2" X 1/2" METAL PLATE	8-2000	PERI TOILET
4	4. 1/2" X 1/2" X 1/2" METAL PLATE	8-2000	PERI TOILET
5	5. 1/2" X 1/2" X 1/2" METAL PLATE	8-2000	PERI TOILET
6	6. 1/2" X 1/2" X 1/2" METAL PLATE	8-2000	PERI TOILET
7	7. 1/2" X 1/2" X 1/2" METAL PLATE	8-2000	PERI TOILET
8	8. 1/2" X 1/2" X 1/2" METAL PLATE	8-2000	PERI TOILET
9	9. 1/2" X 1/2" X 1/2" METAL PLATE	8-2000	PERI TOILET
10	10. 1/2" X 1/2" X 1/2" METAL PLATE	8-2000	PERI TOILET

NOTE: ALL COMPONENTS SHALL BE SPECIFIED IN THIS SCHEDULE.

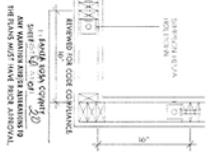
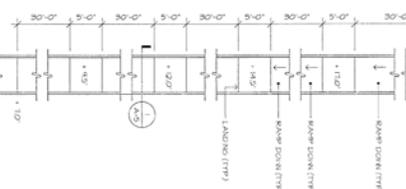
**HC LAVATORY DETAILS**



**FLOOR PLAN**  
1/8" = 1'-0"



TYPICAL SECTION  
TOILET, W/ DOWN  
ROOFING



1. HAND GRAB BARS  
SHALL BE 1/2" X 1/2" X 1/2" METAL PLATE  
MOUNTED TO WALL WITH ANCHORS.  
HORIZONTAL BARS SHALL BE 30"  
LONG.

**PRESCOTT ARCHITECTS**  
ARCHITECTS  
1000 N. W. 10th St.  
Fort Lauderdale, FL 33304  
954-567-6181

REVISIONS

NO.	DESCRIPTION

PROJECT NAME  
**NAVARRE FISHING PIER STORE, PIER ACCESS & BEACH ACCESS**

DATE  
**3/31/71**

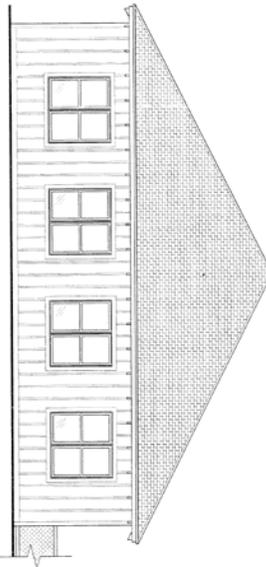
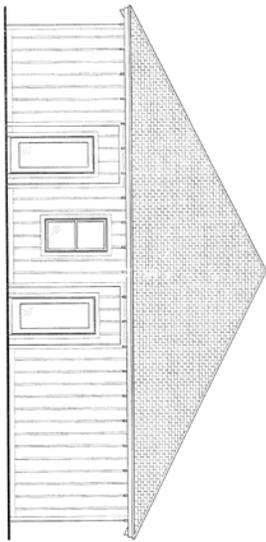
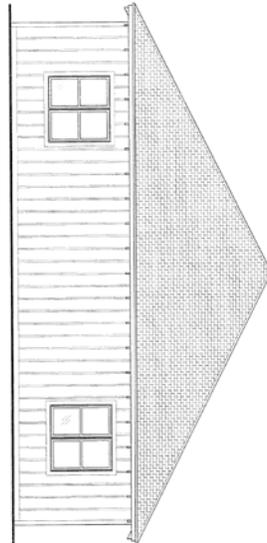
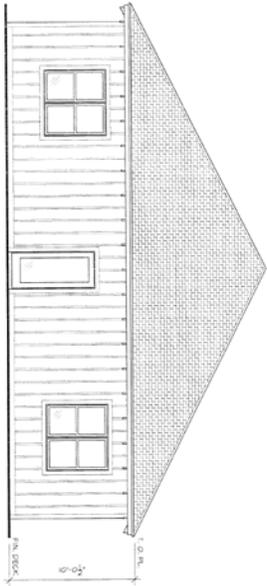
DWG NO.  
**A-3**

DESIGN BY  
**PRESCOTT ARCHITECTS**

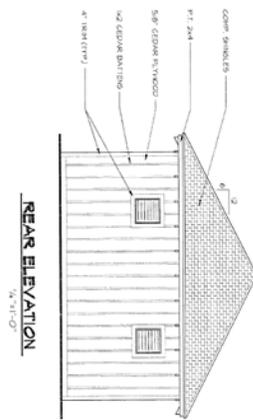
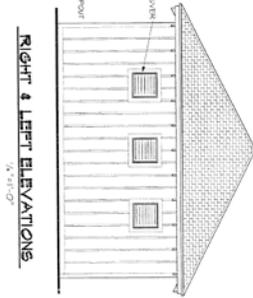
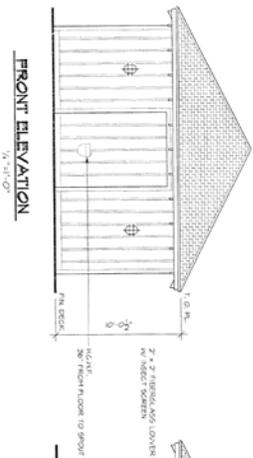
CHECKED BY  
**PRESCOTT ARCHITECTS**

SCALE  
**AS SHOWN**

RETAIL STRUCTURE



BATHROOM STRUCTURE



REVISIONS


DATE: 11/11/98  
DRAWN BY: JORDAN  
CHECKED BY: JORDAN  
SCALE: AS SHOWN

PROJECT NAME:  
NAVARRE FISHING PIER  
STORE, PIER  
ACCESS &  
BEACH  
ACCESS

DATE: 11/11/98  
DRAWN BY: JORDAN  
CHECKED BY: JORDAN  
SCALE: AS SHOWN

DATE: 11/11/98  
DRAWN BY: JORDAN  
CHECKED BY: JORDAN  
SCALE: AS SHOWN

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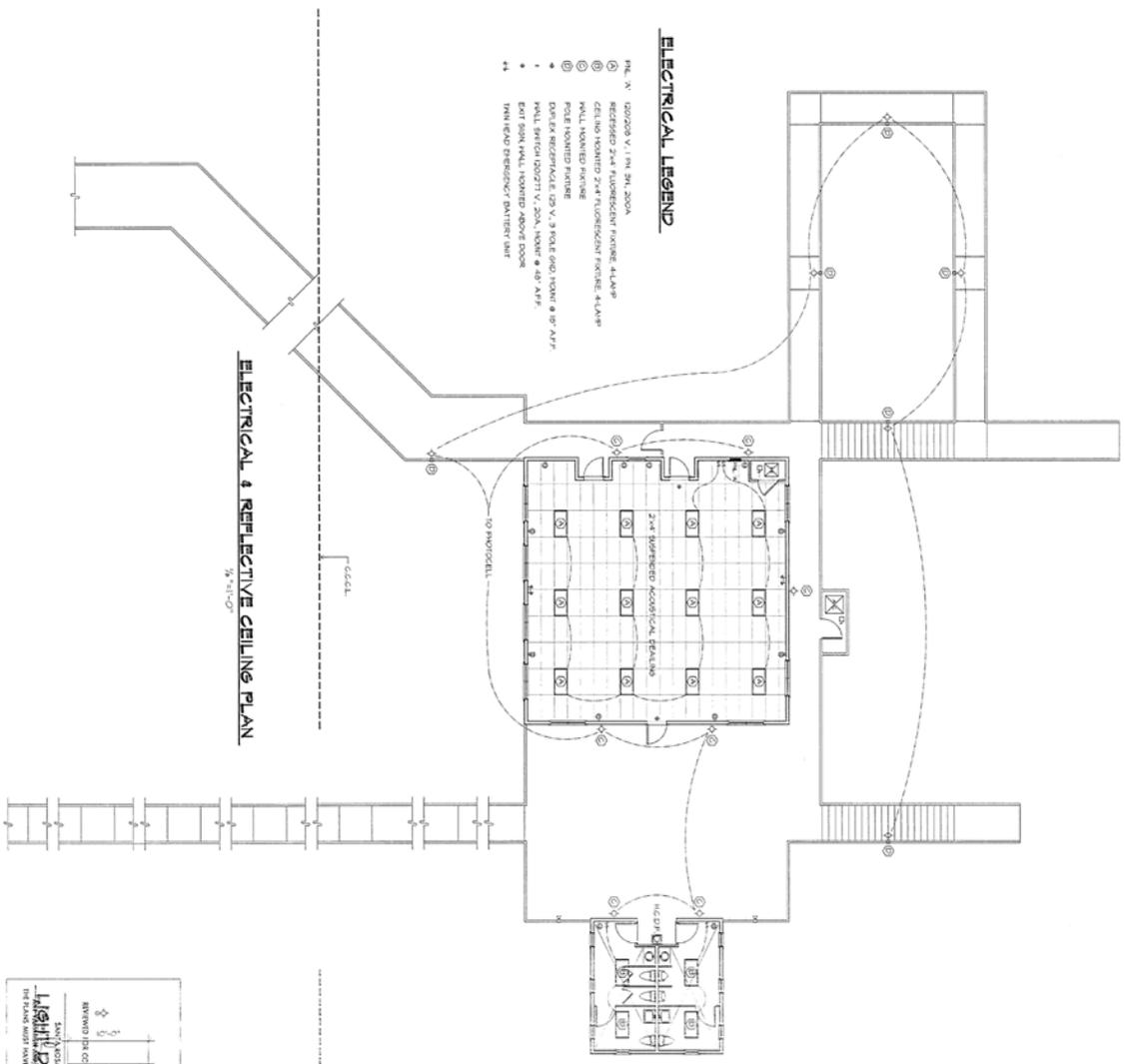
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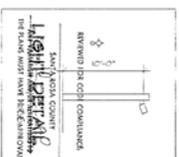
**PRESCOTT ARCHITECTS**  
P.O. BOX 5124  
DUNN, FL 32044  
TEL: 904/261-1234  
FAX: 904/261-1235

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P.O. BOX 5124  
DUNN, FL 32044  
TEL: 904/261-1234  
FAX: 904/261-1235



- ELECTRICAL LEGEND**
- ⊙ 2x4 SUSPENDED FIXTURE 4-LAMP
  - ⊙ WALL MOUNTED FIXTURE
  - ⊙ 2x4 SUSPENDED ACoustic PANELING
  - ⊙ EXIT SIGN
  - ⊙ WALL SWITCH DOOR/TV 20A, HONER # 40 A/F
  - ⊙ EXIT SIGN WALL MOUNTED ABOVE DOOR
  - ⊙ TRIM HEAD PRESIDENT BATTERY UNIT

**ELECTRICAL & REFLECTIVE CEILING PLAN**  
1/8" = 1'-0"



DATE: 2/11/14  
DRAWN BY: [Signature]  
CHECKED BY: [Signature]

**ELECTRICAL & REFLECTIVE CEILING PLAN**

**NAVARRA FISHING PIER STORE, PIER ACCESS & BEACH ACCESS**

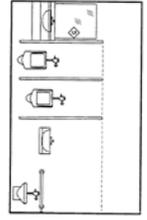
NO.	REVISIONS

**PRESCOTT ARCHITECTS**  
P.O. BOX 5178  
DORSET, VT 05834  
TEL: 802-451-1111  
FAX: 802-451-1112  
WWW.PRESCOTTARCHITECTS.COM

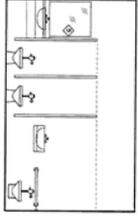
**QP**  
**PRESCOTT ARCHITECTS**  
P.O. BOX 5178  
DORSET, VT 05834  
TEL: 802-451-1111  
FAX: 802-451-1112  
WWW.PRESCOTTARCHITECTS.COM

DATE: 2/11/14  
DRAWN BY: [Signature]  
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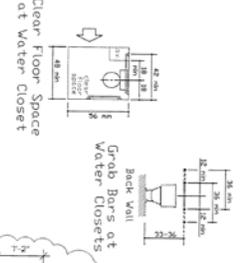




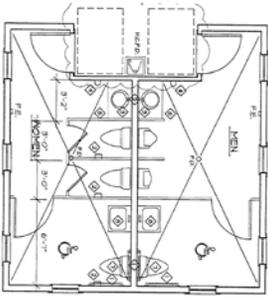
**MEN'S BATHROOM ELEVATION**  
1/4" = 1'-0"



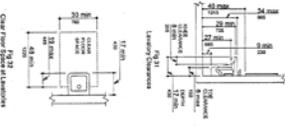
**WOMEN'S BATHROOM ELEVATION**  
1/4" = 1'-0"



**HC WATER CLOSET DETAILS**



**BATHROOM FLOOR PLAN**  
1/4" = 1'-0"



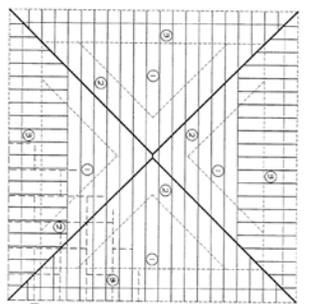
**HC LAVATORY DETAILS**

**TOILET ROOM ACCESSORY SCHEDULE**

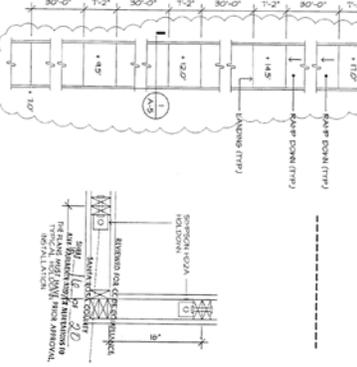
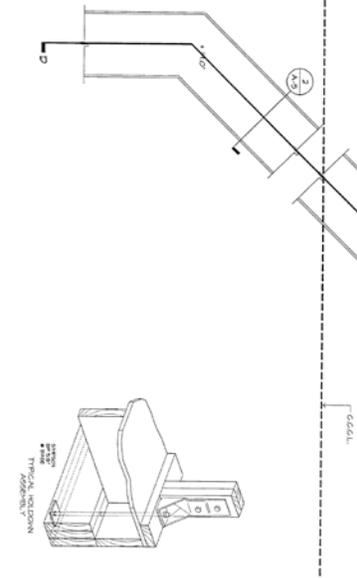
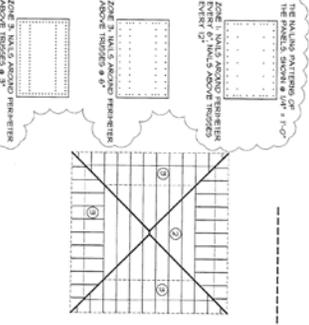
ITEM NO.	DESCRIPTION	QTY	UNIT	REMARKS
1	STAINLESS STEEL SINK	1	EA	1/2" DEEP
2	STAINLESS STEEL VASITY	1	EA	48" WIDE
3	STAINLESS STEEL MIRROR	1	EA	48" WIDE
4	STAINLESS STEEL TOILET	2	EA	1/2" DEEP
5	STAINLESS STEEL URINAL	2	EA	1/2" DEEP
6	STAINLESS STEEL TOILET PAPER HOLDER	2	EA	1/2" DEEP
7	STAINLESS STEEL TOWEL RACK	2	EA	1/2" DEEP
8	STAINLESS STEEL HOOK	2	EA	1/2" DEEP
9	STAINLESS STEEL SIGN	2	EA	1/2" DEEP



**FLOOR PLAN**  
1/4" = 1'-0"



**ROOF FRAMING PLAN**  
1/4" = 1'-0"



**REVISIONS**

NO.	DATE	DESCRIPTION

PROJECT NAME: NAVARRA FISHING PIER STORE, PIER ACCESS & BEACH ACCESS

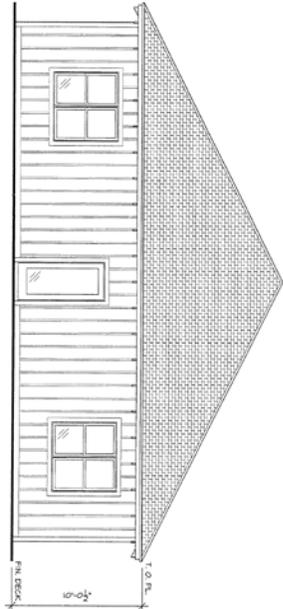
DATE: 3/21/99

DESIGNER: A-3

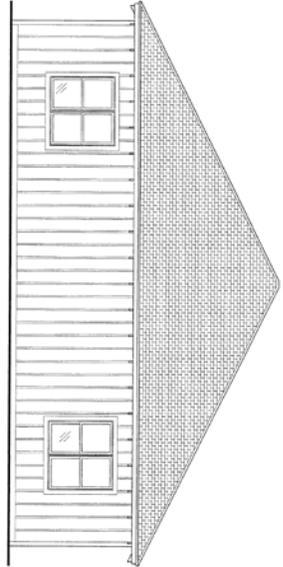
**PRESCOTT ARCHITECTS**  
P.O. BOX 4158  
DUNN, VA 22024  
703-361-9400

DATE: 3/21/99  
DRAWN BY: [ ]  
CHECKED BY: [ ]

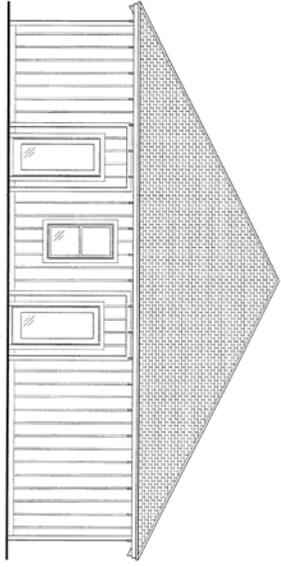
RETAIL STRUCTURE



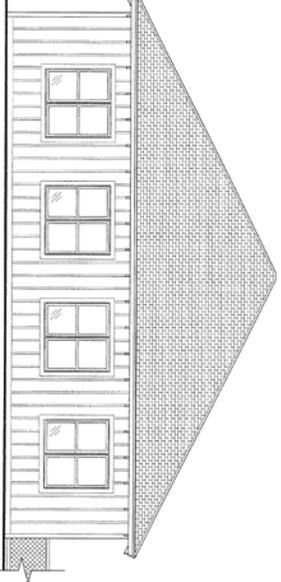
EAST ELEVATION  
1/4"=1'-0"



NORTH ELEVATION  
1/4"=1'-0"

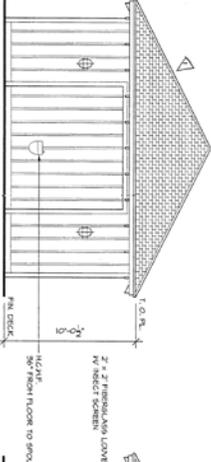


REAR ELEVATION  
1/4"=1'-0"

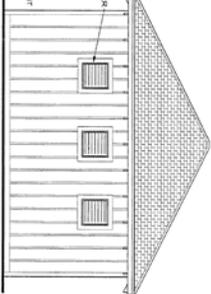


SOUTH ELEVATION  
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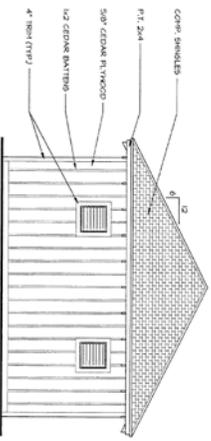
BATHROOM STRUCTURE



FRONT ELEVATION  
1/4"=1'-0"



RIGHT & LEFT ELEVATIONS  
1/4"=1'-0"



REAR ELEVATION  
1/4"=1'-0"

REVISED FOR COST COMPLIANCE.  
 1/4"=1'-0" SCALE  
 SHEET 1 OF 2  
 NAVARRA FISHING PIER BATHROOM  
 1000 ROAD 3000, NAVARRA, ALABAMA

<p>PROJECT TITLE</p>	<p>                   PRESCOTT                  ARCHITECTS                  P.O. BOX 6178                  DESH, AL 36524             </p>
<p>DATE</p>	<p>9/21/99</p>
<p>DRAW NO.</p>	<p>8011</p>
<p>DATE</p>	<p>9/21/99</p>
<p>DRAW NO.</p>	<p>A-4</p>

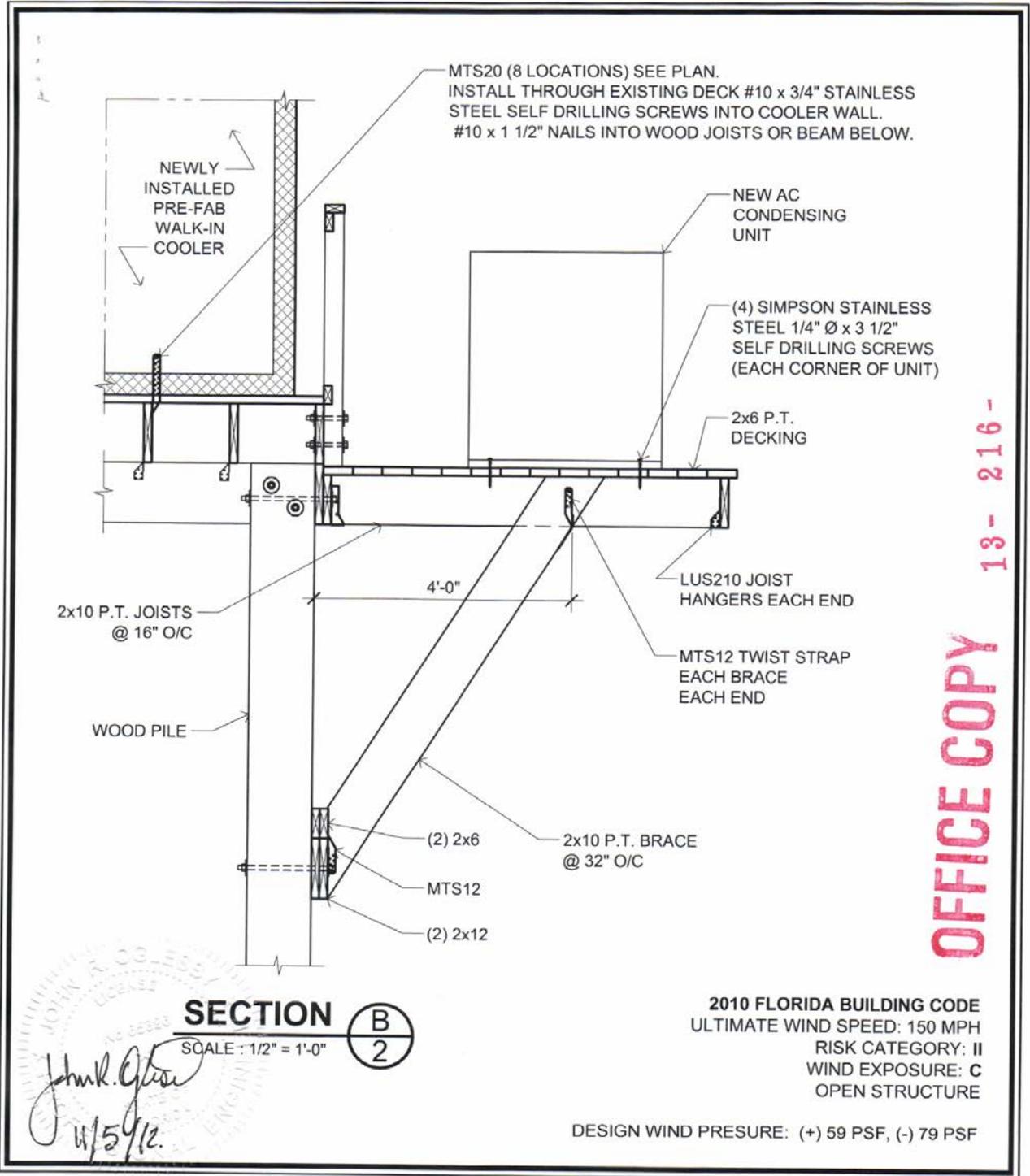
<p>PROJECT NAME</p>	<p>NAVARRA FISHING PIER STONE PIER BATH &amp; ACCESS</p>
<p>DATE</p>	<p>9/21/99</p>
<p>SCALE</p>	<p>1/4"=1'-0"</p>

<p>DATE</p>	<p>9/21/99</p>
<p>DRAW NO.</p>	<p>8011</p>

<p>DATE</p>	<p>9/21/99</p>
<p>DRAW NO.</p>	<p>8011</p>



# Deck Addition

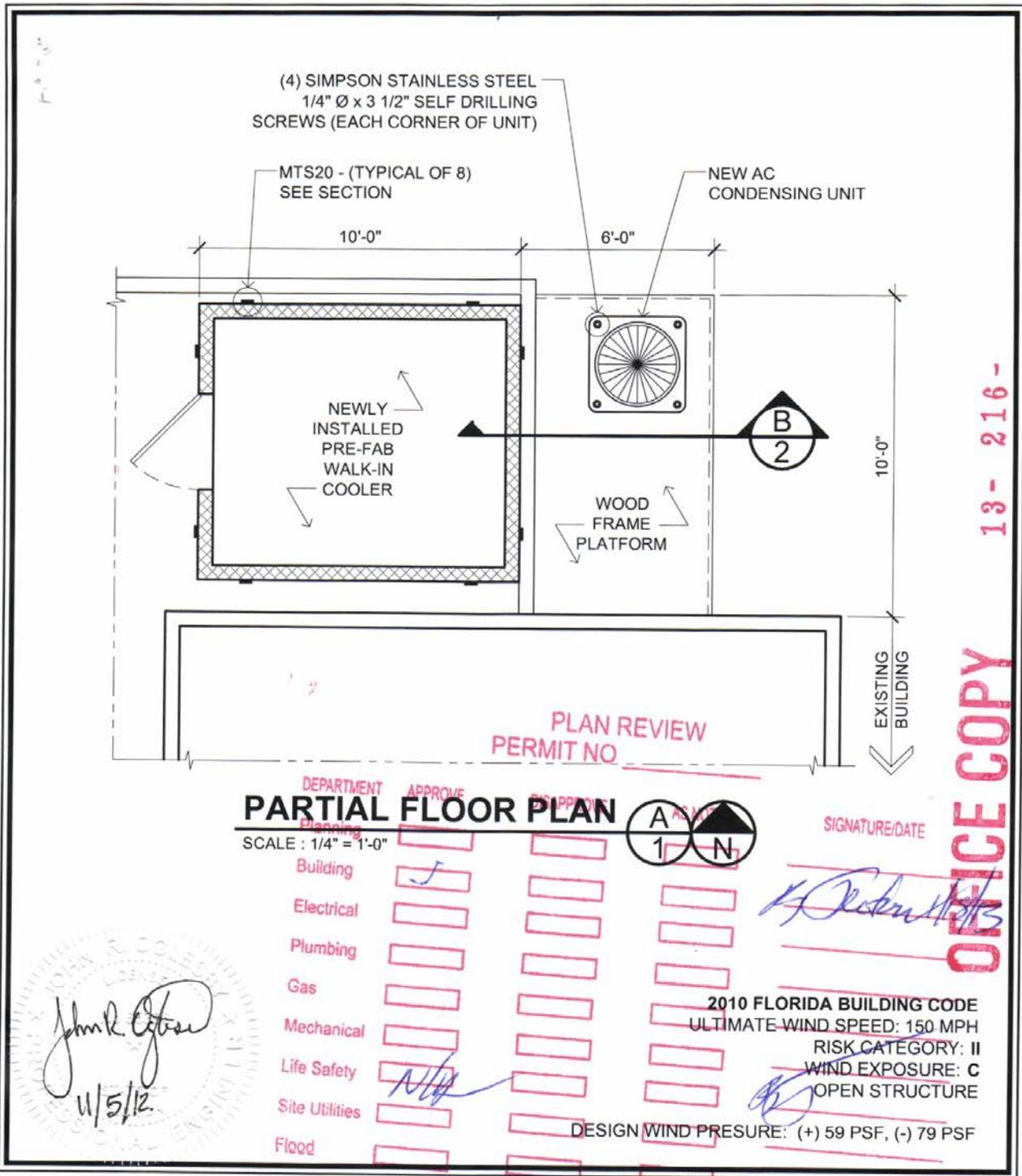


OFFICE COPY 13-216-

**JOHN R. OGLESBY, P.E.**  
CONSULTING ENGINEER  
715 E. Gadsden St.  
Pensacola, Florida  
Phone: (850) 435-1165  
P.E. #65396

MISCELLANEOUS MECHANICAL TIE-DOWN - NAVARRE PIER  
NAVARRE BEACH, FLORIDA

PROJECT #: 2012-XX	DATE: OCTOBER 08, 2012
DRAWN BY: FBCS	SHEET: 2 OF 2



**PARTIAL FLOOR PLAN**

SCALE : 1/4" = 1'-0"

DEPARTMENT	APPROVE	DATE	DESIGNER
Planning			
Building	J		
Electrical			
Plumbing			
Gas			
Mechanical			
Life Safety	N/A		
Site Utilities			
Flood			

*John R. Oglesby*  
11/5/12

SIGNATURE/DATE  
*[Signature]*

2010 FLORIDA BUILDING CODE  
ULTIMATE WIND SPEED: 150 MPH  
RISK CATEGORY: II  
WIND EXPOSURE: C  
OPEN STRUCTURE

DESIGN WIND PRESURE: (+) 59 PSF, (-) 79 PSF

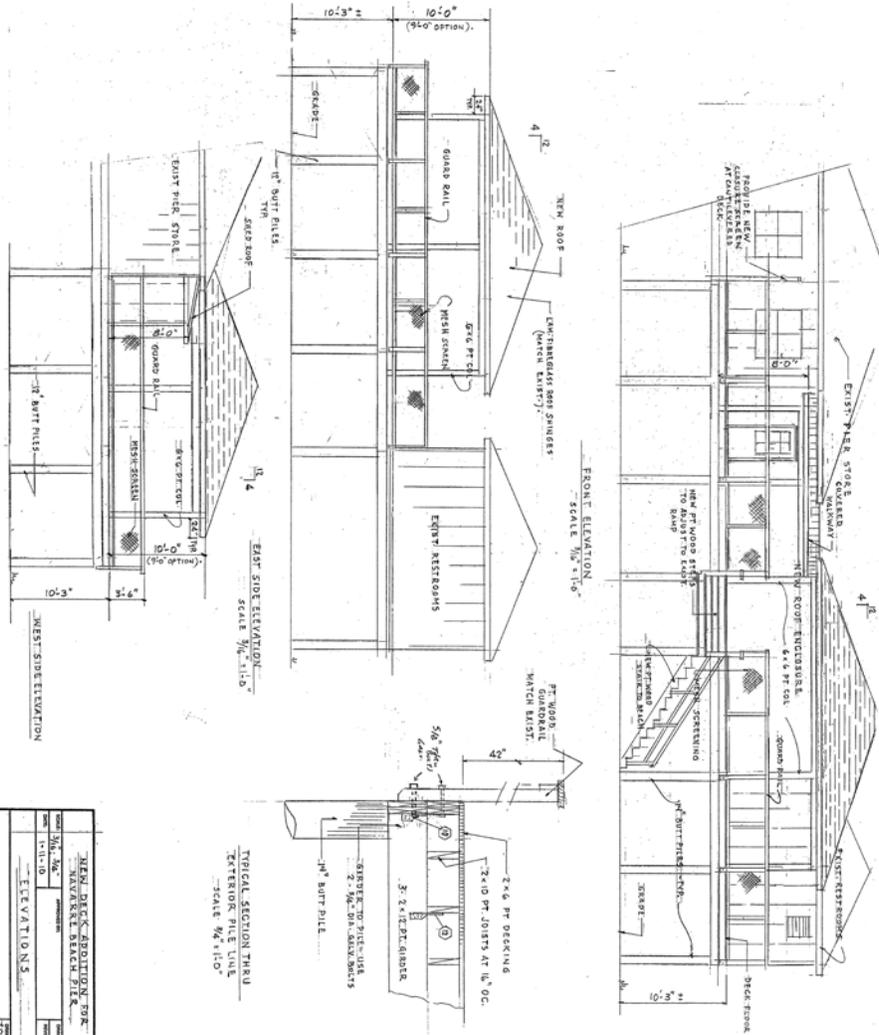
**JOHN R. OGLESBY, P.E.**  
CONSULTING ENGINEER  
715 E. Gadsden St.  
Pensacola, Florida  
Phone: (850) 435-1165  
P.E. #65396

MISCELLANEOUS MECHANICAL TIE-DOWN - NAVARRE PIER  
NAVARRE BEACH, FLORIDA

PROJECT #: 2012-XX	DATE: OCTOBER 08, 2012
DRAWN BY: FBCS	SHEET: 1 OF 2

OFFICE COPY 13-216-

Deck addition  
with  
Cabana



NEW DECK ABOLITION FOR	
DATE	10/11/01
BY	JIK
CHECKED BY	JA & MN
SCALE	AS SHOWN
DRAWING NUMBER	10-1101-3

REVISIONS  
 PROJECT # 2010\_502

**A-3**

CONTRACTOR  
 DRAWING NO. 10-1101-3  
 SCALE: AS SHOWN  
 DRAWING NUMBER

**NAVARRE DECK**

NO. DATE  
 DATE

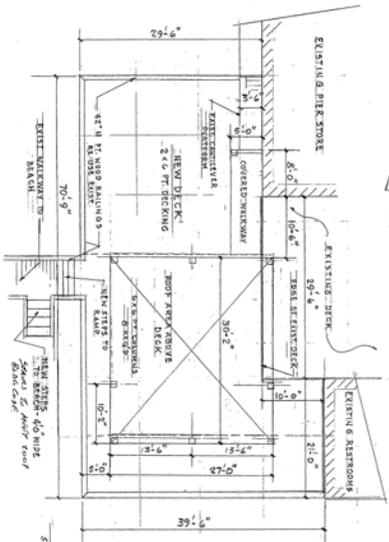
ENGINEER'S SEAL  
*Elliot Allen*

MICHAEL NEWELL, PE  
 FL REG. NO. 41126  
**Gulf Coast Engineering**  
 COMMERCIAL AND RESIDENTIAL  
 C.A. 7066  
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 8815 Beach, Florida 32549  
 850-863-0898

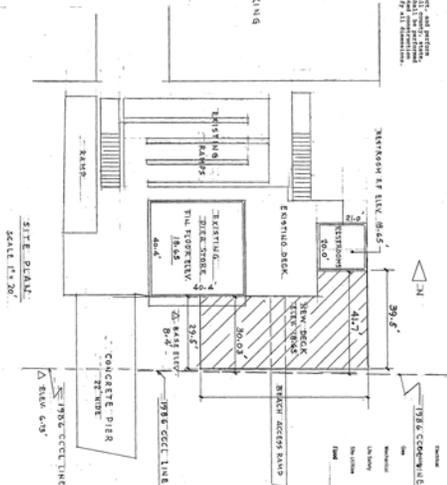
ELLIOT ALLEN, PE  
 FL REG. NO. 42137



THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.



PLAN A-1  
SCALE 1/8" = 1'-0"



SITE PLAN  
SCALE 1/4" = 1'-0"

NEW DECK RAILING  
Basic Wind Speed 140 mph 3 Sec. Gust.  
Building Category II  
Wind Exposure B  
Wind Impedance Factor 0.71

NO.	DESCRIPTION	DATE	BY	CHECKED
1	NEW DECK ADDITIONAL TO EXISTING DECK	10/15/11	JK	JK
2	NAVARRE BEACH PIER	10/15/11	JK	JK
3	COVERED DECK	10/15/11	JK	JK

REVISIONS

2011 5022

DATE	BY	REVISION
10/15/11	JK	NEW DECK ADDITIONAL TO EXISTING DECK
10/15/11	JK	NAVARRE BEACH PIER
10/15/11	JK	COVERED DECK

**AS NOTED BELOW**  
 ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE.  
 ALL FINISHES TO BE AS SHOWN ON THE SCHEDULE.  
 ALL MATERIALS TO BE APPROVED BY THE ARCHITECT.  
 ALL WORK TO BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS.  
 ALL WORK TO BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS.

**A-1**

NAVARRE DECK  
OFFICE COPY

2010-5022

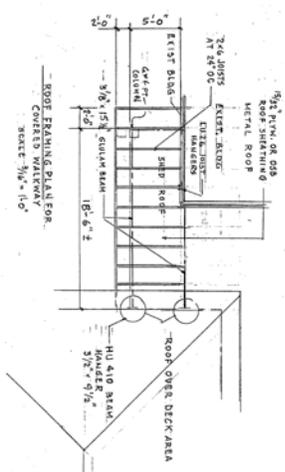
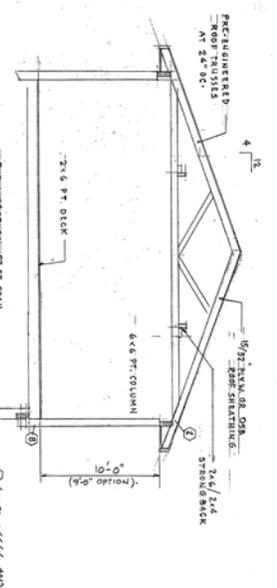
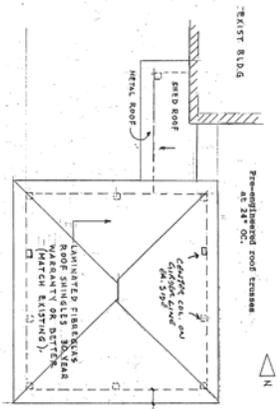
ENGINEER'S SEAL

**Gulf Coast Engineering**  
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 C.A. 7066

MICHAEL NEWELL, PE  
 FL REG. NO. 41726

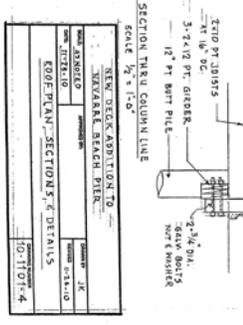
ELLIOTT ALLEN, PE  
 FL REG. NO. 42137

1515  
 32549  
 888-888-0998



CONSTRUCTION LAYERING

SYMBOL	MATERIAL, LOCATION	TYPE OF TILE	STANDARD SECTION
1	Shair with holdfast	Insulation Concrete	18-2105
2	TRANSVERSE TO TOP PL.	Insulation Tile	18-2105
3	Top plate to stud	Stud plate tile	18-2105
4	Top plate to header	Stud plate tile	18-2105
5	Header to King stud	Stud plate tile	18-2105
6	Stud, R.I. to stud	Stud plate tile	18-2105
7	Stud, R.I. to stud	Stud plate tile	18-2105
8	POST COLL. BEAM	POST COLL. BEAM	18-2105
9	POST COLL. CAP	POST COLL. CAP	18-2105
10	CONCRETE W. FLOOR	CONCRETE W. FLOOR	18-2105
11	CONCRETE W. FLOOR	CONCRETE W. FLOOR	18-2105
12	CONCRETE W. FLOOR	CONCRETE W. FLOOR	18-2105



REVISIONS INSTRUCTIONS  
 2010 507

**NAVARRE DECK**

CONTRACTOR: **NAVARRE DECK**

DESIGNER: **ELLIOT ALLEN, PE**

DRAWING NUMBER: **A-4**

DATE: **11-20-10**

SCALE: **NONE**

ENGINEER'S SEAL: **Michael Newell, PE**

PROJECT: **2010 507**

**Gulf Coast Engineering**  
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