

**INVITATION TO BID**  
**HOUSING RECONSTRUCTION 3035 NORTH 15<sup>TH</sup> AVENUE**  
**SANTA ROSA COUNTY SHIP/HOME PROGRAM**

The Board of County Commissioners of Santa Rosa County, Florida will receive sealed bids from qualified licensed contractors for the reconstruction of the residence located at 3035 North 15th Avenue, Milton, FL 32583. Only properly licensed and insured contractors are invited to submit bids. Funds have been reserved for this project through the Santa Rosa County SHIP/HOME Housing Assistance Program.

All bids must be in writing and delivered by hand, overnight courier service, or U.S. Mail to the Santa Rosa County Procurement Department, 6495 Caroline Street, Suite J, Milton, Florida 32570, and must be received by 09:00 a.m., October 25, 2016, at which time will be publicly opened. Secondary delivery location shall be to Suite M at the above address. Only bids received by the aforesaid time and date will be considered. All bids shall be sealed and clearly labeled, “**ITB# 16-062 HOUSING RECONSTRUCTION 3035 N 15<sup>TH</sup> AVE**”. Please provide the original proposal, labeled “ORIGINAL”, and FOUR (4) copies labeled “COPY” (5 total complete packages) along with one (1) electronic file in OCR (readable) PDF format.

A **MANDATORY** pre-bid conference will be held on October 14th, 2016 at 9:00 AM CST, at 3035 North 15th Avenue, Milton, FL 32583. All interested parties are required to attend.

Specifications may be secured by download from the Santa Rosa County Website: [www.santarosa.fl.gov](http://www.santarosa.fl.gov) (keyword BIDS).

Questions concerning this project should be directed to Erin Malbeck of the Santa Rosa County Development Service Center at (850) 981-7092.

The Board of County Commissioners reserves the right to waive informalities in bids, to reject any or all bids with or without cause, and to accept the bid that in its judgment is in the best interest of Santa Rosa County, Florida.

The Board of County Commissioners reserves the right to accept or reject any and all bids in whole or in part and to waive all informalities and to award the bid that it determines to be in the best interest of Santa Rosa County. Santa Rosa County does not discriminate on the basis of race, color, national origin, sex, religion, age, or handicapped status in employment or provision of service.

By order of the Board of County Commissioners of Santa Rosa County, Florida  
**LEGAL NOTICE**

# **SANTA ROSA COUNTY**

## **SHIP PROGRAM**

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### **RECONSTRUCTION PROJECT MANUAL**

**PROPERTY ADDRESS:** 3035 North 15th Avenue  
Milton, FL 32583

**OWNER:** Amber R. VanHoosen & Nicholas M. VanHoosen

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# Introduction

*This manual contains both general requirements and specifications describing different areas of work, extent and quality of materials and labor. When reconstruction work is being done in any area contained in the manual, these general specifications shall be binding and strictly adhered to.*

## Instructions to Bidders

- ❖ A mandatory Pre-Bid Conference will be held prior to the submission of bids. The conference will give the bidding contractors an opportunity to have all questions answered regarding the required work. **Attendance at the pre-bid conference is mandatory.**
- ❖ Each bid shall be accompanied by a Certified Check or bid Bond in the amount of five percent (5%) of the Base Bid, and copies of appropriate licenses. Such Bid Bond or Check is given with the understanding and agreement that it guarantees: (1) that the bidder will not withdraw his bid for a period of 60 days after the bids have been opened; and, (2) that if his bid is accepted, the Bidder will enter into the written Contract with Santa Rosa County within 10 days after receipt of Notice of Award of his bid. In the event the bidder fails to comply with any of these conditions and requirements in whole or in part, the full amount of the bond or check shall be automatically forfeited to Santa Rosa County as damages on account of the default of the bidder.
- ❖ Submit all pages of the reconstruction specifications with itemized prices and signature of Contractor in ink. Specifications submitted in pencil will be rejected by the bid committee.
- ❖ Labor, overhead, permits, insurance and profit must be included into each itemized price and not listed as a separate itemized price or listed under miscellaneous. Non-compliance will result in rejection of the bid.
- ❖ Itemized pricing may be used for negotiation, in the event of a change in the extent or scope of work, as described in the Specifications.
- ❖ All reconstruction work performed must be inspected (rough-in and final) and conform to County Ordinances, State Laws, and Southern Building Code.

# Bid Form

## CONTRACTOR'S RECONSTRUCTION BID SUBMISSION SHEET

Owner: Amber R. VanHoosen & Nicholas M. VanHoosen	File No. S-RC2016-01
Address: 3035 North 15th Avenue	Date Prepared: 9/22/2016
Milton, FL 32583	Bid Opening Date: October 25, 2016 due by 9:00 am
Phone: 850-463-5788	

I (we) certify that I (we) have carefully examined the **Santa Rosa County HOME Project Information including Demolition Requirements and, Reconstruction Specifications, Survey, and House Plans and the Disaster Mitigation Requirements**, for the above referenced job, and submit the following **TOTAL** bid to complete the project to construction industry standards for new construction, and that there will be **NO CHANGE ORDERS OR ADDITIONAL FUNDING** on this project.

### Pre-bid conference mandatory:

**Location:** 3035 North 15th Avenue, Milton, FL 32583  
**Date/Time:** Friday, October 14, 2016 @ 9:00 am

**Bids submitted by contractors who do not attend the mandatory meeting will be disqualified.**

Itemized bid required. Complete the Contractor's Reconstruction Bid Submission Sheet and enter total bid price below. Submission sheet must be prepared in ink and signed by the Contractor or authorized employee. Submission sheets are to be delivered to the Santa Rosa County Office of Procurement in a sealed envelope that designates the job name.

TOTAL BID PRICE: \$ \_\_\_\_\_

CONTRACTING FIRM: \_\_\_\_\_

SIGNATURE: \_\_\_\_\_

TITLE: \_\_\_\_\_

PHONE NUMBER: \_\_\_\_\_

NUMBER OF ADDENDUMS RECEIVED \_\_\_\_\_

**CONTRACTOR'S RECONSTRUCTION BID SUBMISSION SHEET**

Owner: Amber R. VanHoosen & Nicholas M. VanHoosen	File No. S-RC2016-01
Address: 3035 North 15th Avenue Milton, FL 32583	Date Prepared: 9/22/2016
House Plan No. #1384-S1-3326	Contractor:
Demolition	\$
Termite Treatment	\$
Foundation Formwork	\$
Concrete	\$
Framing Material	\$
Framing Labor	\$
Crane Rental	\$
Truss Costs	\$
Hardie/Vinyl	\$
Shingle Installation Cost	\$
Shingle Cost	\$
Interior Drywall	\$
Interior Trim	\$
Interior Paint	\$
Carpet	\$
Vinyl Flooring	\$
Insulation	\$
Ceiling Insulation	\$
HVAC Unit	\$
Electrical	\$
Plumbing	\$
Cabinets	\$
Appliances	\$
Lighting Fixtures	\$
Water/Sewer Line	\$
Septic Repair/Installation	\$
Hurricane Protection (minimum to meet code requirements)	\$
Site Improvement	\$
Landscaping/Sod	\$
Exterior Doors	\$
Windows	\$
Bathroom Fixtures	\$
Kitchen Fixtures	\$
Final House Location Survey	\$
Disaster Mitigation	\$
If Addendums were received, provide cost estimate	\$
<b>TOTAL</b>	\$

## Directions to Reconstruction Location

These directions start from 6051 Old Bagdad Hwy

**START**

1: Start out going east on Old Bagdad Hwy/County Hwy 191-A toward Jimmy's Way.  
0.08 mi



2: Take the 2nd right onto Pine Forest Road  
0.50 mi



3: Turn right onto Carroll Road  
0.61 mi



4: Turn left onto Avalon Blvd/Fl-281/County Hwy - 191A  
0.77 mi



5: Turn right onto County Hwy-191A/Mulat Road  
2.18 mi



6: Turn slightly left onto Montecito Blvd - Montecito becomes 14th Avenue  
0.81 mi



7: Turn left onto San Miguel St  
0.07



8: Take the 1st right onto N. 15th Avenue  
0.03

**END**

6. **3035 N. 15th Avenue is on right**

Total Travel Estimate 5.3 miles - about 10 minutes

## CONTRACTOR'S STATEMENT OF QUALIFICATIONS

(Contents of this statement will be confidential.)

NAME OF CONTRACTING FIRM:	
ADDRESS OF FIRM:	
FEDERAL EMPLOYEE IDENTIFICATION NUMBER:	PHONE: <span style="float: right;">FAX:</span> CELL:
DATE FIRM ORGANIZED/HOW LONG IN BUSINESS:	WHERE INCORPORATED AND WHEN:
HOW LONG IN CONTRACTING BUSINESS UNDER PRESENT FIRM NAME:	HAVE YOU ENGAGED IN BUSINESS UNDER ANY OTHER NAME?
GENERAL NATURE OF WORK PERFORMED BY YOUR FIRM:	HAVE YOU EVER FAILED TO COMPLETE ANY WORK AWARDED TO YOU OR YOUR FIRM? (Yes or No) (If Yes, attach statement explaining where and why.)
HAVE YOU EVER DEFAULTED ON A CONTRACT? (Yes or No) (If Yes, attach statement explaining where and why.)	CAN YOUR FIRM FURNISH A LETTER OF CREDIT FROM YOUR SOURCE OF FINANCING?
BONDING CAPACITY: \$	
BONDING COMPANY NAME AND ADDRESS:	
LIST RECENT REMODELING JOBS:	
CLIENT NAME:	CLIENT PHONE NUMBER:
ADDRESS:	
CLIENT NAME:	CLIENT PHONE NUMBER:
ADDRESS:	
CLIENT NAME:	CLIENT PHONE NUMBER:
ADDRESS:	

### LIST OF SUBCONTRACTORS

PLUMBER:	PHONE NUMBER:
ADDRESS:	
ELECTRICIAN:	PHONE NUMBER:
ADDRESS:	

ROOFER:	PHONE NUMBER:
ADDRESS:	
CARPENTER:	PHONE NUMBER:
ADDRESS:	
SEPTIC TANK:	PHONE NUMBER:
ADDRESS:	
LIST YOUR USUAL MATERIAL SUPPLIERS AND ACCOUNTS:	

**ATTACH CURRENT COPIES OF THE FOLLOWING:**

- \* State of Florida, Dept. of Professional Regulation Registration
- \* County Contractors Certificate
- \* Contractor's Liability Insurance Certificate
- \* W-9 Form
- \* Workman ' s Compensation Insurance Certificate or Waiver issued by the State of Florida

TYPED OR PRINTED NAME AND TITLE OF CONTRACTOR:
SIGNATURE:
STATE OF FLORIDA COUNTY OF _____
Sworn to and subscribed before me this _____ Day of _____, 200__.
_____ (Signature of Notary Public - State of Florida)
Personally Known _____ or produced the following as Identification:

SWORN STATEMENT UNDER SECTION 287.133 (3) (A),  
FLORIDA STATUTES, ON PUBLIC ENTITY CRIMES

THIS FORM MUST BE SIGNED IN THE PRESENCE OF A NOTARY PUBLIC OR OTHER OFFICER AUTHORIZED TO ADMINISTER OATHS.

1. This sworn statement is submitted to \_\_\_\_\_

by

\_\_\_\_\_  
(print individual's name and title)

for

\_\_\_\_\_  
(print name of entity submitting sworn statement)

whose business address is \_\_\_\_\_

and (if applicable) its Federal Employer Identification Number (FEIN) is \_\_\_\_\_. If the entity has no FEIN, include the Social Security Number of the individual signing this Sworn Statement: \_\_\_\_\_

2. I understand that a "public entity crime" as defined in Paragraph 287.133(1)(g), Florida Statutes, means a violation of any state or federal law by a person with respect to and directly related to the transaction of business with any public entity or with an agency or political subdivision of any other state or with the United States, including, but not limited to, any bid or contract for goods or services to be provided to any public entity or an agency or political subdivision of any other state or of the United States and involving antitrust, fraud, theft, bribery, collusion, racketeering, conspiracy, or material misrepresentation.

3. I understand that "convicted" or "conviction" as defined in Paragraph 287.133(1)(b), Florida Statutes, means a finding of guilt or a conviction of a public entity crime, with or without an adjudication of guilt, in any federal or state trial court of record relating to charges brought by indictment or information after July 1, 1989, as a result of a jury verdict, nonjury trial, or entry of a plea of guilty or nolo contendere.

4. I understand that an "affiliate" as defined in Paragraph 287.133(1)(a), Florida Statutes, means:

a) A predecessor or successor of a person convicted of a public entity crime; or

b) An entity under the control of any natural person who is active in the management of the entity and who has been convicted of a public entity crime. The term "affiliate" includes those officers, directors, executives, partners, shareholders, employees, members, and agents who are active in the management of an affiliate. The ownership by one person of shares constituting a controlling interest in another person, or a pooling of equipment or income among persons when not for fair market value under an arm's length agreement, shall be a prima facie case that one person controls another person. A person who knowingly enters into a joint venture with a person who has been convicted of public entity crime.

5. I understand that a "person" as defined in Paragraph 287.133(1)(e), Florida Statutes, means any natural person or entity organized under the laws of any state or of the United States with legal power to enter into a binding contract and which bids or appeals to bid on contracts for the provision of goods and services let by a public entity, or which otherwise transacts or applies to transact business with a public entity. The term "person" includes those officers, directors, executives, partners, shareholders, employees, members, and agents who are active in management of an entity.

6. Based on information and belief, the statement which I have marked below is true in relation to the entity submitting this sworn statement. (Indicate which statement applies.)

\_\_\_\_\_ Neither the entity submitting this sworn statement, nor one or more of the officers, directors, executives, partners, shareholders, employees, members, or agents who are active in management of the entity, nor any affiliate of the entity have been charged with and convicted of a public entity crime subsequent to July 1, 1989.

\_\_\_\_\_ The entity submitting this sworn statement, or one or more of the officers, directors, executives, partners, shareholders, employees, members, or agents who are active in management of the entity, or an affiliate of the entity has been charged with and convicted of a public entity crime subsequent to July 1, 1989.

\_\_\_\_\_ The entity submitting this sworn statement, or one or more of the officers, directors, executives, partners, shareholders, employees, members, or agents who are active in management of the entity, or an affiliate of the entity has been charged with and convicted of a public entity crime subsequent to July 1, 1989. However, there has been a subsequent proceeding before a Hearing Officer of the State of Florida, Division of Administrative Hearings and the Final Order entered by the Hearing Officers determined that it was not in the public interest to place the entity submitting this sworn statement on the convicted vendor list. (ATTACH A COPY OF THE FINAL ORDER.)

I UNDERSTAND THAT THE SUBMISSION OF THIS FORM TO THE CONTRACTING OFFICER FOR THE PUBLIC ENTITY IDENTIFIED IN PARAGRAPH 1 (ONE) ABOVE IS FOR THAT PUBLIC ENTITY ONLY AND THAT THIS FORM IS VALID THROUGH DECEMBER 31 OF THE CALENDAR YEAR IN WHICH IT IS FILED. I ALSO UNDERSTAND THAT I AM REQUIRED TO INFORM THE PUBLIC ENTITY PRIOR TO ENTERING INTO A CONTRACT IN EXCESS OF THE THRESHOLD AMOUNT PROVIDED IN SECTION 287.017, FLORIDA STATUTES FOR CATEGORY TWO OF ANY CHANGE IN THE INFORMATION CONTAINED IN THIS FORM.

\_\_\_\_\_  
(Signature)

Sworn to and subscribed before me this \_\_\_\_\_ day of \_\_\_\_\_, 2\_\_\_\_\_.

Personally known \_\_\_\_\_

or Produced identification \_\_\_\_\_ Notary Public – State of \_\_\_\_\_

\_\_\_\_\_  
(Type of identification)

My commission expires \_\_\_\_\_

\_\_\_\_\_  
(Printed, typed, or stamped commissioned name of notary public.)

# General Requirements

## 1. **Workmanship: Industry Standard**

Workmanship will be judged as to industry standard.

## 2. **Testing/Grading Criteria: ASTM**

If necessary, any testing or grading criteria will be in accordance with the appropriate ASTM.

## 3. **Qualifications of Persons/Firms on the Job**

Persons or firms on the project shall be actively engaged in the line of work required by the specifications and shall be able to refer to work of similar character performed by them. They shall be fully conversant with the general technical phraseology of the line of work covered by the drawings and specifications.

## 4. **Bid Only on Items Indicated**

Contractors are cautioned to bid only on indicated items. Neglect to do so will result in a bid rejection.

## 5. **Work Deviating from Specifications**

When reconstruction work is in progress, contractors will not be paid for any work deviating from specifications unless the change is approved in writing by the property owner and Santa Rosa County housing program administrator. Change requests must be submitted within 3-days from contractor request and homeowner approval.

## 6. **Substitutions**

No substitutions for any item listed in the specifications will be accepted unless approved in writing by Santa Rosa County.

## 7. **Omissions/Discrepancies in Project Bid**

The contractor shall bring to the attention of Santa Rosa County omissions and discrepancies in the project bid items. Failure to do so is an indication of the contractor's willingness to accept the original intent within the scope of standard practice to complete the renovation/reconstruction not leaving any unfinished or incomplete work in part or whole. No qualification of a bid item is acceptable. Including a bid qualification is grounds for rejection.

## 8. **Equal Substitutions**

The phrase equal means equal in quality and integral properties and similar in design. All materials and workmanship shall comply with applicable codes.

## 9. **Inspection of Work**

The contractor shall permit Santa Rosa County to inspect the work at any time.

## 10. Work Performance

**All work performed must comply with the current Florida Building Code and the Project Bid Specifications Handbook.** Work must conform to project bid specifications. Materials, procedures and workmanship must also comply. All work shall be completed in an acceptable workmanlike manner. Items omitted in the specification that are discovered during a site investigation by the contractor should be brought to the attention of Santa Rosa County before the bid opening date.

## 11. Dimensions and Measurements

Dimensions and measurements stated in the specifications are for guidance only. The bidder is responsible to investigate the site and to verify dimensions and measurements. Santa Rosa County will not adjust the contract amount in the event stated specification measurements or dimensions are found to be inaccurate. Measurements noted in the specifications are rounded up to the closest foot.

## 12. Addenda or Corrections

Addenda or corrections issued during the time of tendering are to be covered in the proposal and shall become part of the contract documents. **A copy of each addendum received for the project must be attached to the bid you submit. A total cost for these addendums must be listed on each addendum page.**

## 13. Detailed Cost Breakdown

The contractor selected for the project must provide a detailed breakdown relative to cost. The cost breakdown establishes a basis to work from if any changes or deletions are made to the scope of work during the construction. In the absence of a detailed cost breakdown, the County estimate figures will become binding in the event of any changes.

## 14. Orderly Work Site and Debris Removal

The contractor is responsible for maintaining an orderly work site and will not allow debris to accumulate. All hazardous conditions will be corrected and debris removed prior to final payment.

## 15. Work Left Open Until Inspected

No framing, mechanical or electrical work is to be closed-in until inspected by the County Inspections Officer.

## 16. OSHA Guidelines/Standards Enforced

OSHA guidelines and standards shall be strictly enforced.

## 17. Safety/Security of Dwelling

If a resident relocates, the safety and security of the dwelling becomes the sole responsibility of the contractor. Utilities that are removed or relocated will be replaced prior to final inspection.

## 18. Lead-Based Paint Prohibited

Use of all lead-based paint (any paint containing more than .06% lead by weight in the total non-volatile contents of liquid paint or in the dried film of paint already applied) is strictly prohibited.

## **19. Building Permits**

Work requiring a building permit shall not commence until the Building Permit Card has been posted in a conspicuous place on the front of the premises. It is the responsibility of the contractor to request the appropriate inspection from the County Inspections Office at each inspection level required under the scope of the rehabilitation/reconstruction work. If a permit is not required by the county, a letter documenting the determination, including the name and contact information for the person making the determination, is required.

## **20. Replacement of Materials**

Unless otherwise indicated, any material being replaced shall be replaced with material of the same type, dimension and initial quality.

## **21. Installation and Associated Items**

Installation or repair of items includes all accessory items associated with that installation.

## **22. Repair of Non-Specified Areas**

While repairing specified items, any damage done to other adjoining areas shall be repaired or replaced.

## **23. Definition of Replace**

Replace is defined as removing existing materials and installing new. All work associated is included. The finished area is to be in a new rehabbed state.

## **24. Removal of Material from Job Site**

Unless otherwise authorized, all material removed from the job becomes the responsibility of the contractor. Any material removed from the dwelling may remain in the custody of the homeowner at their request.

## **25. New Items Installed to Finished State**

New items must be installed to a finished state (i.e. doors to be hinged, locked, trimmed, painted and threshold installed.)

## **26. Roof Inspections**

24 hours prior to roof removal, the contractor shall notify Santa Rosa County Housing Office. Unless otherwise advised, the contractor should not cover the roof until an inspection is complete.

## **27. Handicap Accessibility**

Handicap accessibility requirements will be addressed on an individual case basis. Requirements for a specific project will be detailed per the Americans with Disabilities Act (A.D.A.) and all other applicable federal and state laws.

## **28. Code Compliance**

All work performed on a rehabilitation/reconstruction project must comply with **current** local, state and federal codes and guidelines.

## **29. Change Orders**

Any change request to the general specifications or job specification must be submitted in writing. No work is authorized until a change order is approved. A change order request must be submitted to the County within three days of the issuance by the contractor and approval by the homeowner.

## **30. Personal Items**

Removal and relocating of all personal items in the dwelling is the sole responsibility of the homeowner unless otherwise noted within the bid manual or any addendums received.

# Specifications

## MATERIALS:

All materials, as specified within the HOME Specifications and on the drawings attached to each bid packet, are considered to be minimums. All lumber and sheathing must be graded and stamped by the appropriate inspection bureau. All materials must be new, unused materials with no visible defects.

## WORKMANSHIP:

All work shall be completed in accordance with Industry Standards for new construction, which will require the following:

- Floors must be level and free from defects.
- Walls must be plumb, warped studs straightened or removed.
- Windows: Rough openings must be plumb and level, units must open, close, and lock properly.
- Exterior Doors: Thresholds must be flashed with valley flashing then caulked prior to installing unit. Units must be blocked in opening with shims at top hinge, bottom hinge and at keeper. Screws are to be installed through hinges into frame work. Thresholds will be supported by a soldier course of brick or concrete pad.
- Roofing must be installed per code, to include proper valley flashings; eave metal to be factory baked on enamel finish and must be installed under felt under-layment; first course of shingles must be spot fastened to starter course with plastic roofing cement.
- Vinyl Siding must be installed over an approved vapor barrier; must be nailed per manufacturers specifications; and must include all vinyl accessories.
- Sheetrock must be free of all defects including nail-pops, tape blisters, joint shadows, cracks, uneven/unfinished angles, and uneven/inconsistent wall/ceiling textures.
- Interior Trim: all doors must have wood jambs and casings; all moldings must match; all joints must fit with minimum gaps (less than 1/8"); all nails must be set; shoe mold must be installed over all vinyl.
- Painting must be free of all "holidays," roller and brush marks, runs, drips, sags, dust and dirt, and caulk build-up.
- Mechanical: Supply ducts must be installed 6' to 8' from exterior walls with air directed at or toward exterior doors and windows.
- Electrical: All boxes must be fastened to framing members and installed so as to properly accommodate device. Receptacles, switches, and covers must be installed straight and level with wall. Breakers must be identified within new breaker box.
- Plumbing: Lines must be fastened to framing members; escutcheons installed; shut-off between meter and house must be sleeved with a minimum of a 4" diameter PVC pipe.

The Homeowner will have the following sample choices, where applicable:

Shingle Color	1 choice
Exterior Paint	1 choices wall & 1 choice trim
Interior Wall Color	1 choices wall & 1 choice trim
Interior Door Finish	1 choice
Sheet Vinyl or Composite Tile	1 choice
Carpet Color	1 choice
Cabinet Finish	1 choice (natural, stained and varnished or pickled and varnished)
Counter Top Color	1 choice
Stove	per specifications
Refrigerator	per specifications
Bath fixtures	White

## DEMOLITION REQUIREMENTS

Remove the entire existing structure including: foundation, footings, porches, steps, and all concrete masonry units.

Remove all remaining shrubs and trees within 6 feet of the new foundation.

Building site must be cleaned of all debris including roots and building materials. Site must be left in a uniform/ready for reconstruction state. Fill may be necessary to level site after demo.

Adequate fill around perimeter of house will be added to within 8" of finished floor and tapered to 1:12 to existing grade.

Abandon any septic tank systems as per Health Dept. requirements. Abandon and remove any buried propane tanks in accordance with EPA regulations.

### DEMOLITION OF A HOUSING UNIT CONTAINING ASBESTOS

1. Demolition of all units under the HOME program that contain asbestos must be done under the specifications required by the State of Florida, Department of Environmental Protection, and Air Quality Standards.
2. Demolition of all units under the HOME program that contain asbestos must be performed by a licensed and insured Demolition Contractor who is knowledgeable of asbestos removal and who is approved by the Department of Environmental Protection for the demolition of units which contain the following types of asbestos materials:
  - A. Exterior Shingle Sidings
  - B. Floor Tile and Linoleum
  - C. Ceiling Tiles
3. All awarded contractors will be responsible for notification to the Department of Environmental Protection prior to the actual demolition activity.
4. All demolition work is to be permitted/inspected/approved through the appropriate authority.

### RECONSTRUCTION SPECIFICATIONS

All reconstruction work shall be completed in accordance with the following Southern Building Code Congress International (SBCCI) Codes: Building, Electrical, Mechanical, Plumbing, and Gas. Further, work shall comply with the State of Florida, Energy Efficiency Code, and Standards for Onsite Sewage Disposal Systems. In addition, construction shall be completed in compliance with all County ordinances and as specified as follows:

Foundations: Foundations are designed for stick-framed roof system. Wind load based on monolithic slab. Off-grade foundations are acceptable when contractor submits certified wind load calculations.

#### A. Monolithic Slab-on-grade Foundations:

- Slab and footing to be poured as a monolithic unit over termite treated compacted fill and 6 mil vapor barrier or approved fibercrete. Minimum slab thickness to be 3 2".
- Footing: continuous (minimum 12" wide by 20" deep as measured from top of slab) with 2 @ #5 rebar with 25" lap.
- 2" x 10", "j" bolts to be installed per drawing with 2x2x1/8" washers.
- Monolithic pour to be minimum 2500 psi fibercrete or approved WWM with chairs.

#### B. Slab on-grade:

- Exterior load bearing wall framing: 8'1" wall height (from sole to DBL top) studs to be 2 x 4 YP (stud grade) at 16", strapped as per plans.
- Exterior Sheathing: wind shear resistance in shear wall segments all exterior walls (except shear wall segments) to be sheathed with 2" OSB or CDX installed vertically and nailed with 8d commons at 6"/12"
- Shear Wall Segments: indicated on drawing as (SWS) all panels in SWS to be installed horizontally and blocked at joint with 2 x 4 and nailed as per plans.

### Septic Systems

Septic systems shall be installed in accordance with State and local ordinances. Inspection, survey by Health Dept. and tie in is responsibility of contractor.

### WELL

Deep well to be figured at 160' min. to 200' max.

### Roof System and Shingles:

Foundations are designed for stick framed roof systems, 5:12 pitch.  
Roof systems shall be constructed per drawing and as follows:

- Engineered trusses will be utilized.
- Attic access opening shall be framed per location on drawing or as directed, with the opening extended upward 6" for insulation purposes
- All roofs are to have a 2 x 6 band installed on the rafter tails (which is the sub-fascia); roof sheathing shall be a minimum 7/16" CDX or OSB sheathing, installed with face grain perpendicular to rafters and rated for rafter spacing. Ply-clips are required between courses.
- Roof sheathing is to extend 1/2" beyond 2 x 4 band and nailed to band
- Roof sheathing is to covered with 15# felt, install 6" double break aluminum eave metal with a factory baked on finish, color to match fascia. Install approved shingles as per county requirements. Roofing will carry a 25 year warranty. Open ridges and install continuous roof ventilation with all accessories, ridge vent is to be nailed to rafters.

Exterior Doors:

Size and style of doors are indicated on drawing:

All door units are to be steel, insulated units with adjustable threshold and weather-stripping. Units are to be installed with brick mold casing and be tested for 140 mph wind-load. Exterior doors are to be equipped with "Kwik-set" lock sets or equal and matching dead bolt locks, keyed alike.

When required:

A. Handicap ramps

- Extend size of front entry slab to be 6'x6'x 3-1/2" concrete slab with 6x6 WWM or fibercrete. Finished elevation shall be (-)1" at door sloped 1:12 away from dwelling.
- Construct concrete 3'0" ramp at 1:12 slope to grade. Include light broom finish.
- Handrails and guard rails to be built to code. Handrails shall be splinter free and to code as to size and weight bearing. Material can be Pressure Treated or approved equal.

Thresholds to be supported by a soldier course of brick or concrete apron.

Windows:

Sizes are indicated on drawing:

All units are to be aluminum frame, insulated (double-glazed) units complete with screens. Units are to be single hung, unless indicated by an HZ designation. Windows are to be installed as per manufacture's requirements for 140 mph windload. Units are to be installed as per county requirements.

The color of the window frame (bronze or white) is to be determined by the Homeowner.

Siding, Soffit, and Fascia:

All units are to be wrapped with vinyl siding as follows:

Vinyl to be a .042" thickness (plus or minus .003")  
All siding to be installed over a vapor barrier of 15# felt or "Builders Foil"  
Vinyl to be installed per manufacturer's specifications and county requirements.  
"J" channel is to be installed around windows and placed at exterior door brick mold (no wood window casing required).  
All accessories are to match vinyl.  
Fascia, wrap fascia with minimum .019" aluminum  
Soffit to be ventilated vinyl soffit  
Soffit is to be installed in the eaves and all porch ceilings with maximum 18" span between supports.

Each unit to include three (3) sets of vinyl shutters

Contractor is to provide a minimum of four color samples of the siding, soffit, and fascia for the Homeowner to choose.

Electrical and Wiring:

All electrical shall be installed per code for new residential construction, and as follows:

All equipment shall be new and UL approved.  
Mast will be required on each unit, with no POA to fascia.  
All wiring shall be copper with the exception of circuits for the dryer, electric ranges, and cook tops (when indicated).  
All breakers shall be new and the breaker box installed per drawing.

Lighting fixtures shall be installed as follows:

Bedrooms: Install bent glass, ceiling-mounted fixtures, with a minimum of one 60-watt bulb installed. Pre-wire and block for ceiling fan with a switch for fan and switch for light.

Front Room and Dining: Install a minimum 2-bulb, globe-type ceiling mounted fixture with a minimum of one 60-watt bulb installed. Pre-wire and block for ceiling fan with a switch for fan and switch for light.

Kitchen: Install a 4', 2-bulb fluorescent light fixture with globe and single bulb fixture over sink.

Bathroom: Install a globe type ceiling mounted light fixture with a minimum of one 60-watt bulb.

Utility Room/Area: Install a globe type ceiling mounted fixture with a minimum of one 60-watt bulb.

Hallways: Install a globe type ceiling mounted fixture with a minimum of one 60-watt bulb.

Exterior Doors: Install a globe type, wall mounted fixture at each exterior door. Install a minimum of one 60-watt bulb.

In addition, the following are to be installed:

1. Smoke detector(s); will be installed per code.
2. Carbon monoxide detectors are to be installed where required by code.
3. Dryer plug installed.
4. Two (2) telephone outlets installed (per Homeowner).
5. Two-speed (high & low) vented range hood installed above stove. Range hood to be the same size as range but a minimum of 30". In addition, range Hood shall have a light with a 20-watt appliance bulb installed.
6. Range hood shall be vent type and vented through roof.
7. Door bell assembly to be installed with button installed at front entry.
8. Ceiling-mounted ventilation fan installed in all bathrooms without a window. Fans shall be operated on a separate switch from the light fixture.
9. Should a Homeowner have cable existing, the contractor is required to pre-wire two boxes.
10. Wiring for light and fan combinations are to be installed in all bedrooms, living room and dining room.

#### Plumbing:

All plumbing shall be installed per code for new residential construction and as follows:

- Water lines shall be copper.
- Exposed copper pipe under the floor shall be wrapped with pipe insulation designed as pipe insulation.
- Main Supply to house shall be a minimum 3/4", 160 psi PVC, with shut-off valve between the house and the meter.
- Exterior hose bibs will have vacuum blocks installed.

Fixtures (domestic brands only) shall be UL approved and as follows:

Kitchen: Sink shall be a standard 6 1/2" deep, dual compartment, stainless steel sink without spray attachment. Fixture shall be a single lever, brass body (Price Pfister, or equal).

Lavatory: 19" round, steel sink (to be set in post-form top). Fixture to be single lever, brass body (Price Pfister, or equal).

Tub: Unless otherwise indicated on the drawing, all units are to have a one-piece, 5-foot tub/shower unit. Fixture to be single lever, brass body (Price Pfister, or equal). Install access panel.

Water Closet: Vitreous china, reverse trap, closed couple combination, with lid and seat and metal flushing handle.

Water Heater: 40-gallon (gas or electric. Must meet State of Florida Energy Efficiency Code. Drain pan required.

Exterior Sill Cocks: Install two (2), brass body Shut-off Valves: Brass only and installed per Code.

Stack and drain lines shall be new PVC pipe installed per Code.

Install supply from supply to REF location for ice maker. If installed, tubing from supply to hook-up will be copper with brass fittings.

Washer box to be installed in laundry room.

#### Mechanical:

All new units installed per Code for new residential construction and as follows:

All electric units will be heat pump heat and air systems; or  
 All gas units with conventional air.  
 All units must be installed in a fire-rated closet as per county requirements with minimum 24" x 60" door. Floor to be 1" thick.  
 Return-air grill to be removable filter type with filter installed.  
 All gas units to have electronic pilot, combustion air vents, and exhaust vent.  
 All heating systems must include:  
 Thermostatic control  
 Insulated duct work, minimum R-6  
 Adjustable ceiling mounted grills

Seal return-air plenum (air tight) with plywood bottom.  
 Platform cleats to be nailed following the installation of sheetrock  
 All interior doors of heated rooms must have 1/2" clearance from top of carpet or vinyl to bottom of door for return-air

Ceiling-Mounted Bathroom Ventilator:

Install only in bathroom without window ventilation.  
 Unit must be rated to exhaust a minimum of one (1) cubic foot of air per square foot of bathroom floor area.  
 Unit must be capable of operating independent of light fixture, and switched on wall.

Range Hood:

Install a vented range hood with rigid vent pipe through roof.  
 Clearance from top of cooking surface to bottom of wall cabinet to be 30".  
 All units to have 2-speed fans with built-in light (bulb to be installed).

Interior Walls Sheathing:

Location:	Material:	Finish:
Bedrooms Kitchen Utility Rooms Front Rooms Living Rooms Dining Rooms Halls	1/2 " Sheetrock, Regular	Orange Peel Texture
Bathrooms	1/2" Green Board	Orange Peel Texture

Interior Ceiling Sheathing: Note-As per SBCCI, Section 2308, all gypsum wallboard ceilings will be 5/8": or 2 rated gypsum ceiling board.\*

Location:	Material:	Finish:
Bedrooms Kitchen Utility Rooms Front Rooms Living Rooms Dining Rooms Halls	5/8 " Sheetrock, Regular	Spray Texture
Bathrooms	5/8" Green Board	Spray Texture

Cabinets and Counter Tops:

Cabinets to be custom built, solid wood and plywood construction only.  
 Valance above sink is not mandatory. However, if installed it is not considered in overall cabinet footage.  
 All units must have basswood rails and stiles.  
 All units must have 3/4" Birch plywood doors, drawer fronts, and exposed sides (sides for stove opening may be 3/4" pine).  
 All base units must have 1/2" pine BC bottoms or better.  
  
 All base units to have minimum 3/4" x 12" shelf (plywood or solid wood), except under kitchen sink.  
 All overhead (wall) units must be 30" in overall height with three (3) 3/4" storage surfaces. Plywood shelves will have a 1/4" nosing.  
 All units to have minimum 1/8" masonite backs.  
 Hardware: Side mounted drawer guides, flush mounted hinges, and metal handles or pulls.  
 Counter tops to be post-form P/L or custom tops. Custom tops are to be built using 3/4" plywood with 3/4" x 4" backsplashes finished with matching laminate. All mitered joints seam-filled and sealed.  
 All plywood shelves are required to have a 1/4" hardwood nosing.  
  
 Exhaust air duct for stove shall be boxed both inside and above cabinets.

Cabinets which are not enclosed above the wall cabinets: a birch plywood box shall be installed around the range hood vent pipe.

Base cabinets shall be designed with one drawer a minimum of 14" (inside dimension) for silverware. Cabinets may be natural finished, stained with 2 coats of varnish or pickled with 2 coats of varnish. Cabinet finish can be natural, stained or pickled and varnished.

#### Interior Trim:

All nails to be set and filled with putty.

Baseboards and casings: colonial or tear drop (wood only). Use one or the other, not both.

All casing and baseboard to be painted. Doors to be clear or stained or painted.

Bedroom, bathroom, and closet doors to be hollow core Luan door units, compete with wood jambs and casings.

Locksets: bathroom and bedroom to be privacy locksets.

Heater closet to have dummy knob with magnetic or pressure latch.

Bi-fold doors to have pull knobs.

Install door stop/bumpers for all swinging doors.

Trim windows with sheetrock returns and wood stool and skirt.

All edges to be factory molded, job routed, or sanded to smooth finish.

All cabinets to have shoe mold installed at floor.

Shoe mold to be installed when baseboard is not flush with floor.

#### Bathroom Trim:

All tubs/showers to have shower curtain rod.

All bathrooms to have metal or plastic recess/mirrored medicine cabinet.

All bathrooms to have soap dish, toilet paper holder, toothbrush holder, and 24" towel bar.

Handicap requirements on housing without complete ADA requirements:

When required, contractor will install 2-36" grab bars, Model CS-1; stainless steel, "H" series or equal. Blocking will be installed prior to installation from wall to wall and be sufficient to support appropriate weight.

Contractor will also install 1 handicap toilet, supply and wax seal.

#### Insulation:

Exterior Walls: 3 2" R-13 kraft backed batts.

Ceilings: Minimum R-30 batts or blown fiberglass. Cardboard baffles must be installed when ceilings blown.

Floors: All off-grade floors, minimum 6" batts with mesh protection or metal strap supports.

Floors are to be insulated (between floor joists) to a minimum R-30, kraft-backed insulation with the paper turned toward the floor. The insulation must be supported using wire-type strapping or wire/plastic mesh.

#### Painting:

Exterior Surfaces -

Caulk between changes in materials (i.e., aluminum and vinyl, vinyl and wood). Caulk all mitered/butt joint same material.

Steel Doors: paint with two (2) coats semi-gloss, latex base only.

Interior Surfaces -

Caulk all intersections of dissimilar materials (i.e., aluminum and sheetrock, sheetrock and wood, aluminum and wood, etc.).

Set all nails in trim and putty.

Sheetrock Walls: prime all walls with latex primer, then paint with latex flat or satin finish only.

New Wood Painted: prime, sand, putty nail holes, caulk edges, and then paint with semi-gloss latex, repeat until smooth surface is obtained.

New Stained or Natural: stain or leave natural (per homeowner). Apply first coat of sanding sealer and allow to dry per manufacturer's specifications. Sand dry sealer, set and putty nail heads, then apply second coat of sanding sealer. Repeat process as necessary (with sanding between coats) until a smooth finish is obtained.

Note: cabinets are to be finished in the following areas: rails, stiles, scribe molding, valance exposed sides, drawer fronts, both sides of doors, inside door and drawer rails and stiles, and a minimum of 24" x 36" under kitchen sink and entire vanity bottom.

#### Finished Flooring:

Bathroom, Kitchen, Utility Room: install "Cambray," or equal (.065) sheet vinyl(\$16.00/yd installed).

Front Room, Bedrooms, Hall, Dining: install carpet over 1/2" rebound pad (\$16.00/yd. installed).

All finished flooring must be VA/FHA approved.

Carpet is to be plush or sculptured. Homeowner is to pick color and design from Contractor's samples.

Flooring material is to be a minimum of \$16.00/yd. installed.

House Numbers: Where applicable, three inch (3") metal nail-up type. Numbers must be installed over contrasting color.

Termite Pre-treatment: Each housing unit must be treated for termites with a one-time, one-year guarantee treatment; certification required.

Miscellaneous: Dryer vent - install to outside.

Carbon Monoxide Detectors will be included in all units with natural gas hook-ups.

Bedroom Closets - to receive rod & shelf or metal combo.

Laundry Closet - to receive rod & shelf or metal combo.

Appliances: Stove, when required, will be 30" free standing (gas or electric) with oven, model comparable to Lowe's Frigidaire FFEF3015LW. Refrigerator, Energy Star Rating. Model comparable to Lowe's Frigidaire 20.6 cubic feet. Top mount refrigerator Model: FRT21IL6JW. Cost of appliances include cost of unit, delivery, tax and installation. **All appliances are to be rated energy star efficient.**

Exterior: Finish grade will be a minimum of 8" below finished floor, sloped 1:12 away from house. Adequate fill should be estimated no matter what the existing terrain. **Add centipede sod to exterior of new dwelling to a distance of 6 feet and spread winter rye around to a distance of 12 feet beyond the initial 6 feet of sod.** No other grade or landscaping work is to be included.

Nailing:

In addition to the nailing schedule listed in the general specs, the nailing schedule listed in SBCCI, Section 2308, will be required.\*

Where a common nail is required, a common nail will be used. Sinkers and air-driven nails do not meet dimensions or pull-out tests for common nails.\*

Changes to Specifications: Changes to specifications will be done in writing and where required, will include engineering and/or test data.

NOTE: Contractor will be responsible to include the following submittal with building permit requests:

1. Site plan.
2. Energy calculations.
3. Roof data sheet.
4. Concrete pour.
5. Exterior doors data sheet.
6. Windows data sheet.
7. Termite treatment type and application.
8. Engineered truss sheets with engineers stamp.

Data sheets for all county required items must be attached to building permit request. The above list may vary as per county requirements.

# Homeowner Responsibilities and Obligations

The Homeowner is responsible for the following prior to demolition:

- a. Contacting gas service company and requesting removal of meter and disconnection of gas line from main. When the job is completed, the homeowner is responsible for arranging to have the meter reconnected and service reattached to the main and service resumed. Homeowner is responsible for any disconnect and reconnect fees.
- b. Contacting electric company to request disconnection of power from house. The Homeowner would also need to request that the account stay open and pay the monthly fee to keep account open if required by the electric company. When the job is completed and the Final Inspection turned into the electric company, the homeowner is responsible for arranging for the reattachment and reconnection of power. Homeowner is responsible for any disconnect and reconnect fees.
- c. Removal of any shrubs, plants, and bushes from and around the building site which the Homeowner wishes to save and replant.
- d. The Homeowner is responsible for maintaining existing water for the Contractors use during the rehabilitation period.
- e. The Homeowner is responsible for the removal of all belongings/furnishings from the unit prior to the start date. This includes clothes, furniture, furnishings, drapes and curtains and other items which the Homeowner may want to save. The Homeowner may make arrangements with the Contractor to remove unwanted belongings, etc. at the Homeowner's expense. The Contractor is not responsible for removal of Homeowner's trash and or discarded belongings/furnishings.
- f. Items which are left within the unit, which are to be removed/replaced by the Contractor, become the property of the Contractor and must be removed from the site by the Contractor.
- g. Cooperate with the County, Housing Program Staff and the Contractor to facilitate the performance of the reconstruction work. The contract consists of the contract document, bid and proposal, general conditions and the specifications incorporated therein by reference, including this manual, and drawings, if applicable.

# Payment Schedule

Payments for work completed under the HOME Program will be made in accordance with the following:

1. Twenty percent (20%) percent will be paid upon completion of the slab.
2. Thirty percent (30%) will be paid upon completion of framing and framing inspection by Santa Rosa County Building Inspections and Housing Staff.
3. The remaining fifty (50%) percent will be paid upon completion of all contract requirements as stipulated below.
  - a) Completion of inspection report by Housing Inspector
  - b) Inspection/Sign-off by Building Inspections
  - c) All warranty papers turned over to the homeowner
  - d) Acceptance by the Homeowner
  - e) Premises free from all construction debris
  - f) Certificate of Occupancy issued by the County
  - g) List of all sub-contractors with their appropriate permit number supplied.

# Contractor Section

This section sets forth requirements and procedures with respect to the construction project for reconstruction and related activities. Construction will be undertaken only after a written contract between the Contractor and the homeowner/recipient of the individual loan or grant has been executed.

## **Form of Contract**

The construction contract will consist of a single agreement signed by the Contractor and the recipient following approval of the loan/grant by Santa Rosa County. It shall include the Contractor's bid, general conditions, and the specifications for the work to be performed. The Contract form shall be provided by Santa Rosa County Attorney.

## **Contract Procedure**

The following major provisions must be observed in contracting for and completion of all reconstruction work performed under the Santa Rosa County SHIP/HOME Program.

1. Bid proposals must specify the name of the owner and the address to which the Contractor's bid pertains. Proposals must be submitted on behalf of the homeowner to the appropriate County office identified in the public notice before the closing time and date.
2. Appropriate notice will be given as to the date and time by which a bid will be received or accepted.
3. A pre-bid conference will be held prior to each bid opening. The purpose of this meeting is for contractors to bring any omission, alterations, and recommendations concerning the work write-up to the attention of County staff. This is an opportunity to make suggestions prior to bidding and failure to do so will demonstrate the contractor's acceptance of the work as defined, and therefore any obvious omissions will become the responsibility of the contractor. No obvious omissions type of change order, resulting in additional cost, will be considered after the subject pre-bid conference. The contractor or appropriate representative is required to attend the pre-bid conference.
4. When identical dollar amounts are bid on a specific project, the County reserves the right to make a determination as to award of the contract. The basis of this decision will be the work schedule and work capacity of the contractors involved.
5. Contractors' bid for work shall be accepted or rejected within thirty (30) days from the established receipt date.
6. County staff will notify the successful bidder of the award of the contract immediately upon approval of the required documents, or within 45 days of acceptance of bid, whichever occurs first.

7. Following an award, the appropriate binding contract documents will be approved and signed by all parties. No work is to be undertaken without such contract or prior to issuance of a written notice to proceed. Contractor shall commence with active field construction of the project within seven (7) days of receipt of the notice to proceed. After 30 days the job will be passed to the next eligible bidder.
8. The contractor to whom any bid is awarded shall provide the County with a cost breakout of each aspect of the job prior to commencement of the work. If this is not followed, the County estimate will be used to evaluate the cost of any deletion in the scope of work.
9. A notice of commencement will be filed on each job in conjunction with the issuance of the notice to proceed.
10. **The contractor must satisfactorily complete all the work within 120 days from the date of “notice to proceed.”** No allowance or extension will be given for inclement weather or other events. The only exception to this policy would be in the event of a natural disaster such as a hurricane or major flood. For each day in excess of the 120 day time frame, the contractor may be assessed liquid damages in the amount of \$250 per day. Should a contractor’s completion date fall on a weekend or holiday, the job must be 100% complete and ready for inspection on the morning of the next working day in order to avoid the assessment of a damage charge.
11. In order to qualify for payments beyond the contract amount, all work must be substantiated by a written change order approved by the County, the contractor and the homeowner.
12. All invoices will be approved and signed by the homeowner. The following must be complete in order for the contractor to qualify for the final draw.
  - County Building Inspection Certificate of Occupancy and final approval of electrical, plumbing, gas and building and State Health Department inspection of septic system. If a permit is not required written verification must be provided.
  - Final walk through and acceptance of homeowner and approval by Housing Program Inspector.
  - List of all sub-contractors, permit numbers and phone numbers.
  - Keys and warranty papers (stove, refrigerator, roof, siding, flooring, vent hood, central heating and air conditioner, tubs, sinks, faucets and any other warranted item) provided to the homeowner.
  - Final invoice from contractor for work completed.
  - Contractor’s affidavit (release of liens).
  - Punch list items must be complete.
  - Color selection sheet signed by homeowner and contractor.

13. The contractor must not assign the contract or any part thereof without the written permission and sanction of the Santa Rosa County.

14. The contractor is required to:

- Provide Certificate of Insurance for the following insurance requirements:

- (1) THE CONTRACTOR SHALL OBTAIN AND MAINTAIN SUCH INSURANCE AS WILL PROTECT IT FROM: (1) CLAIMS UNDER WORKER'S COMPENSATION LAWS; (2) CLAIMS FOR DAMAGES BECAUSE OF BODILY INJURY, OCCUPATIONAL SICKNESS OR DISEASE OR DEATH OF HIS EMPLOYEES INCLUDING CLAIMS INSURED BY USUAL PERSONAL INJURY LIABILITY COVERAGE; (3) CLAIMS FOR DAMAGES BECAUSE OF BODILY INJURY, SICKNESS OR DISEASE, OR DEATH OF ANY PERSON OTHER THAN HIS EMPLOYEES INCLUDING CLAIMS INSURED BY USUAL PERSONAL INJURY LIABILITY COVERAGE; AND (4) FROM CLAIMS FOR INJURY TO OR DESTRUCTION OF TANGIBLE PROPERTY INCLUDING LOSS OR USE RESULTING THEREFROM—ANY OR ALL OF WHICH CLAIMS MAY ARISE OUT OF, OR RESULT FROM, THE SERVICES, WORK AND OPERATIONS CARRIED OUT PURSUANT TO AND UNDER THE REQUIREMENTS OF THE CONTRACT DOCUMENTS, WHETHER SUCH SERVICES, WORK AND OPERATIONS BE BY THE CONTRACTOR, ITS EMPLOYEES, OR BY SUBCONTRACTOR(S), OR ANYONE EMPLOYED BY OR UNDER THE SUPERVISION OF ANY OF THEM, OR FOR WHOSE ACTS ANY OF THEM MAY BE LEGALLY LIABLE.
- (2) THIS INSURANCE SHALL BE OBTAINED AND WRITTEN FOR NOT LESS THAN THE LIMITS OF LIABILITY SPECIFIED HEREINAFTER, OR AS REQUIRED BY LAW, WHICHEVER IS GREATER.
- (3) THE CONTRACTOR SHALL REQUIRE, AND SHALL BE RESPONSIBLE FOR ASSURING THROUGHOUT THE TIME THE AGREEMENT IS IN EFFECT, THAT ANY AND ALL OF ITS SUBCONTRACTORS OBTAIN AND MAINTAIN UNTIL THE COMPLETION OF THAT SUBCONTRACTOR'S WORK, SUCH OF THE INSURANCE COVERAGE'S DESCRIBED HEREIN OR AS ARE REQUIRED BY LAW TO BE PROVIDED ON BEHALF OF THEIR EMPLOYEES AND OTHERS.
- (4) THE CONTRACTOR SHALL REQUIRE THE INSURANCE AGENT/BROKER TO PROVIDE REPLACEMENT CERTIFICATES OF INSURANCE ON A TIMELY BASIS, PREFERABLE NO LATER THAN FIVE (5) DAYS PRIOR TO POLICY TERMINATION.
- (5) IF COUNTY HAS ANY OBJECTION TO THE COVERAGE AFFORDED BY OTHER PROVISIONS OF THE INSURANCE REQUIRED TO BE PURCHASED AND MAINTAINED BY CONTRACTOR IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS ON THE BASIS OF ITS NOT COMPLYING WITH THE CONTRACT DOCUMENTS, COUNTY SHALL NOTIFY CONTRACTOR IN WRITING THEREOF WITHIN THIRTY (30) DAYS OF THE DELIVERY OF SUCH CERTIFICATES TO COUNTY. CONTRACTOR SHALL PROVIDE TO THE COUNTY SUCH ADDITIONAL INFORMATION WITH RESPECT TO ITS INSURANCE AS MAY BE REQUESTED.
- (6) THE CONTRACTOR SHALL OBTAIN AND MAINTAIN THE FOLLOWING INSURANCE COVERAGE'S AS PROVIDED HEREIN BEFORE, AND IN THE TYPE, AMOUNTS AND IN CONFORMANCE WITH THE FOLLOWING MINIMUM REQUIREMENTS:

- A. FLORIDA STATUTORY WORKER'S COMPENSATION AND EMPLOYERS LIABILITY WITH LIMITS REQUIRED BY CHAPTER 440. FLORIDA STATUTES IN ADDITION, COVERAGE UNDER THE U.S. LONGSHOREMEN & HARBOR WORKERS' AND JONES ACT, MAY BE REQUIRED COVERAGE'S BY LAW OR REGULATION FOR THE WORK SPECIFIED IN THE CONTRACT. CONTRACTOR AND SUBCONTRACTORS MAY PROVIDE A VALID CERTIFICATE OF EXEMPTION ISSUED BY THE STATE OF FLORIDA IN LIEU OF WORKERS' COMPENSATION INSURANCE COVERAGE. (THIS EXEMPTION APPLIES TO SOLE PROPRIETORS AND CORPORATE OFFICES ONLY. STATUTORY WORKERS' COMPENSATION COVERAGE MUST BE PURCHASED FOR 1 OR MORE EMPLOYEES.)
- B. COMMERCIAL GENERAL LIABILITY WITH MINIMUM COMBINED SINGLE LIMITS OF \$1,000,000, INCLUDING COVERAGE PARTS OF BODILY INJURY, BROAD FORM PROPERTY DAMAGE, PERSONAL INJURY, INDEPENDENT CONTRACTORS, BLANKET CONTRACTUAL LIABILITY AND PRODUCTS AND COMPLETED OPERATIONS. THE COVERAGE FOR UNDERGROUND DAMAGE, EXPLOSION AND COLLAPSE SHALL NOT BE REMOVED BY EXCLUSION.
- C. AUTOMOBILE LIABILITY WITH MINIMUM COMBINED SINGLE LIMITS OF \$500,000 FOR ALL HIRED, OWNED AND NON-OWNED VEHICLES.
- D. EXCESS OR UMBRELLA LIABILITY WITH MINIMUM LIMITS OF \$2,000,000 WHICH ARE NO MORE RESTRICTIVE THAN THE UNDERLYING LIMITS. UMBRELLA COVERAGE SHALL DROP DOWN TO PROVIDE COVERAGE WHERE THE UNDERLYING LIMITS ARE EXHAUSTED.
- E. PROFESSIONAL LIABILITY INSURANCE WITH MINIMUM LIMITS OF \$500,000 FOR ENGINEERS, ARCHITECTS OR OTHER PROFESSIONALS EMPLOYED BY THE CONTRACTOR, IF ANY.
- F. BUILDERS RISK INSURANCE UNDERWRITTEN ON THE "ALL RISKS OF PHYSICAL LOSS" BASIS FOR REPLACEMENT COST FOR THE FULL VALUE OF THE COMPLETED PROJECT TO COVER THE OWNER AND CONTRACTOR AS THEIR INTEREST MAY APPEAR. AN INSTALLATION FLOATER MAY BE AN ALTERNATIVE IF APPROPRIATE TO THIS SPECIFIC CONTRACT.
- Obtain and pay for all permits and licenses necessary for the completion and execution of the work and labor to be performed.
  - Perform all work in conformance with applicable state and/or local codes, whether or not specifically referred to by the specification and drawings for the work.
  - Keep the premises clean and orderly during the course of the work and remove all debris upon completion of the work. Materials and equipment that have been removed and replaced as part of the work shall belong to the contractor.
  - Guarantee the work performed for a period of one year from the date of final acceptance of all work required under the contract. Furnish completed manufacturers and suppliers guarantees and warranties covering materials and equipment replaced under the contract. This information must be furnished to the homeowner.

- Allow representatives of the state or county government to inspect the rehabilitation/reconstruction work at reasonable times during the progress of the work.
- Complete all warranty items and subsequently return the required form signed by the homeowner within ten (10) days of final. In the event a contractor fails to complete warranty work within the time frame

15. The Contractor is responsible for the following prior to Demolition:

- a. Obtaining Demolition Permit, if required by the County.
- b. Setting temporary power pole, paying deposit, and arranging for inspection of temporary pole.
- c. NOTE: The Contractor will be responsible for all charges, fees, and monthly bills in conjunction with the temporary electric service.
- d. Disconnection of water lines from meter and the installation of a temporary water cock, stubbed up from meter.
- e. Removal of any fences.
- f. Install portable toilet on site.

## Miscellaneous Provisions

1. The County may add other provisions to the contract and/or general conditions as required to meet various federal, state and local laws and regulations governing equal employment opportunity, wage rates, contracting procedures, etc.
2. Upon entering the program, each qualified contractor will be provided a copy of the *Operations Manual and General Specifications and Reconstruction Standards*. Each contractor will sign a statement indicating receipt of the information.
3. Repair items not allowed under the program:
  - a) Gutters
  - b) Under-skirting
  - c) Driveways
  - d) Exterior sight work of any kind, including tree trimming
  - e) Detached buildings of any kind
  - f) Home or porch additions
  - g) Roofing different than the existing

- h) Interior completion of garage areas
4. Job specifications detailed in the work write-up and illustrative sketches (if any), will be completed by the County Property Inspector for each property to be reconstructed. Drawings shall be prepared only when essential to show the scope and detail of the work involved so that a fair bid for the work can be obtained and to avoid misunderstandings. The specifications and drawings shall result from an inspection of the property and interviews with the homeowner/applicant. The specifications shall clearly establish the nature of the work to be done and the materials and equipment to be installed. Known acceptable brands shall be identified by reference to manufacturers or associations specifications and provision shall be made for acceptance of equal substitutions. Each page of the specifications and drawings shall be numbered and shall contain proper identification and the date.
  5. Contractors shall be of good reputation, financially sound, have adequate financial resources and be qualified to carry out the work.
  6. The procedure for inviting and obtaining bids is dependent upon the estimated cost of the work to be performed.
    - a. Less than \$10,000. The construction contract may be negotiated with one or more prospective bidders.
    - b. \$10,000 or more. Invitation for bids shall be publicly advertised. The period of time between the request for bids and the bid opening shall not be less than seven (7) days.
  7. If a bid other than the low bid is selected, a statement of the reasons for the selection will be provided. The homeowner/applicant's preference alone is not an acceptable reason for selecting a higher bid.
  8. If two bids are not submitted and the bid received is acceptable, the bid may be awarded to the single bidder.
  9. A standard specification and bid form shall be used for submission of all bids.
  10. No member, officer or employee of the County or members of the governing body or other public official of the County who exercises any function or responsibility with respect to the Reconstruction Program during their tenure or for one year thereafter shall have any interest, direct or indirect in any contract or sub-contract or proceeds thereof for work to be performed in connection with the County HOME Program.
  11. In carrying out the contract, the Contractor shall not discriminate against any employee or applicant for employment because of race, creed, religion, color, age, sex, familial status, national origin or handicap.

## **BID SUBMISSION CHECKLIST**

**Project Address: 3035 N. 15th Avenue, Milton, FL 32583**

Contractor: \_\_\_\_\_

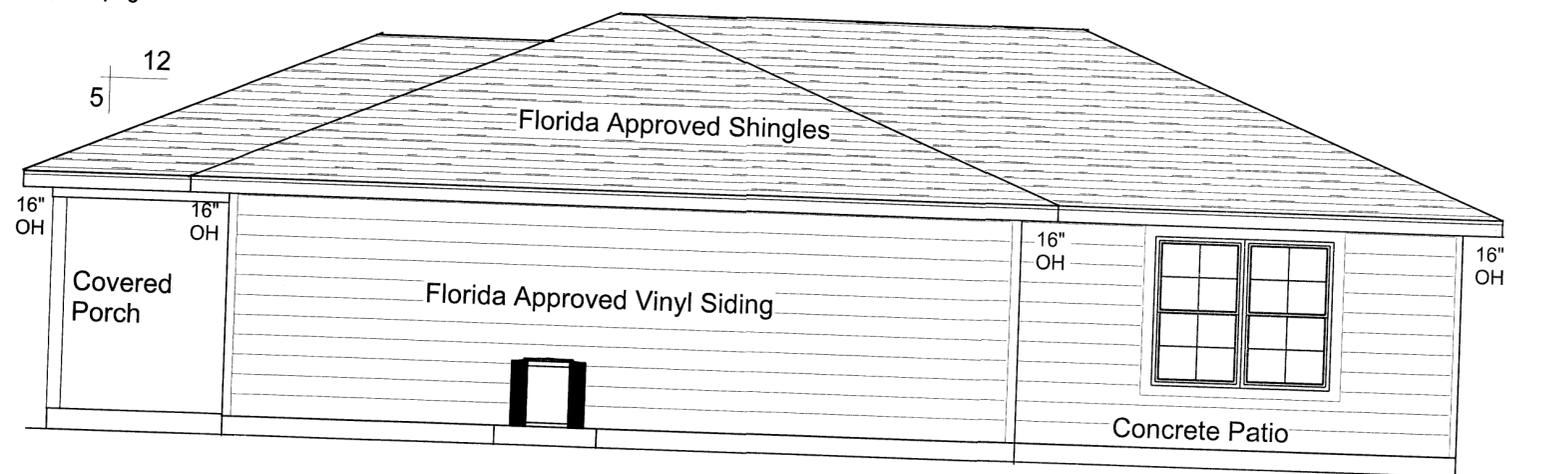
- \_\_\_ Bid Form (scope of work)
- \_\_\_ Addendums (include each sheet sent to you from Procurement)
- \_\_\_ Contractors Statement of Qualifications (Notarized)
- \_\_\_ Business License
- \_\_\_ Insurance Document
  - \_\_\_ General Liability 1,000,000
  - \_\_\_ Auto Insurance 500,000 combined single limit
  - \_\_\_ Workman's Comp
- \_\_\_ Sworn Statement (Notarized)
- \_\_\_ W-9

**ATTACH THIS PAGE TO THE TOP OF YOUR BID  
SUBMISSION**



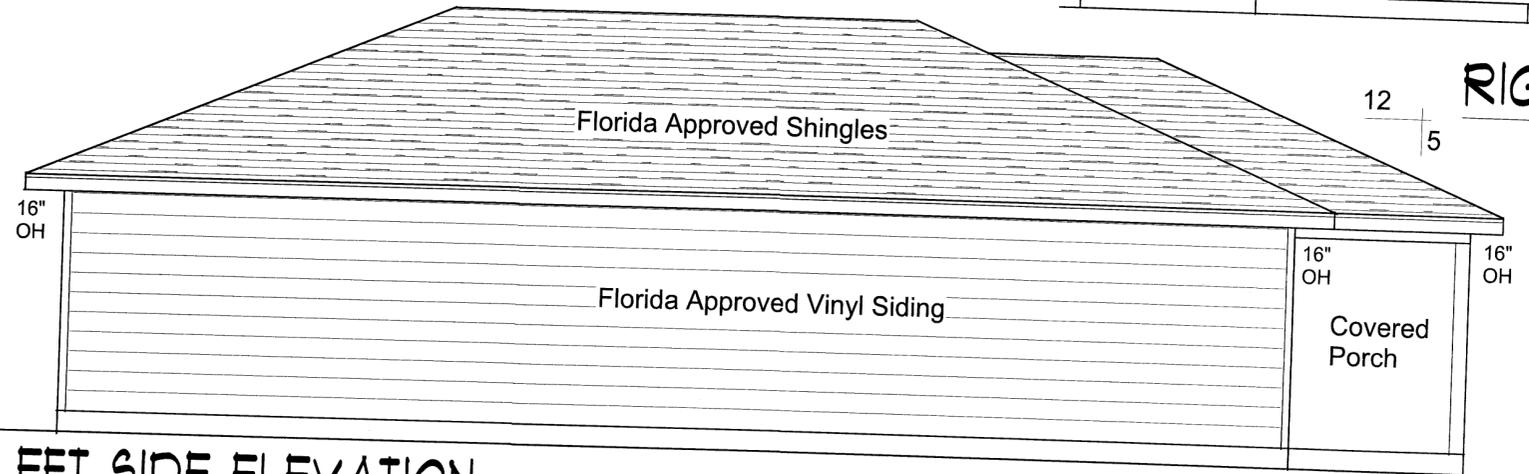
**FRONT ELEVATION**

Scale: 1/4" = 1'-0"



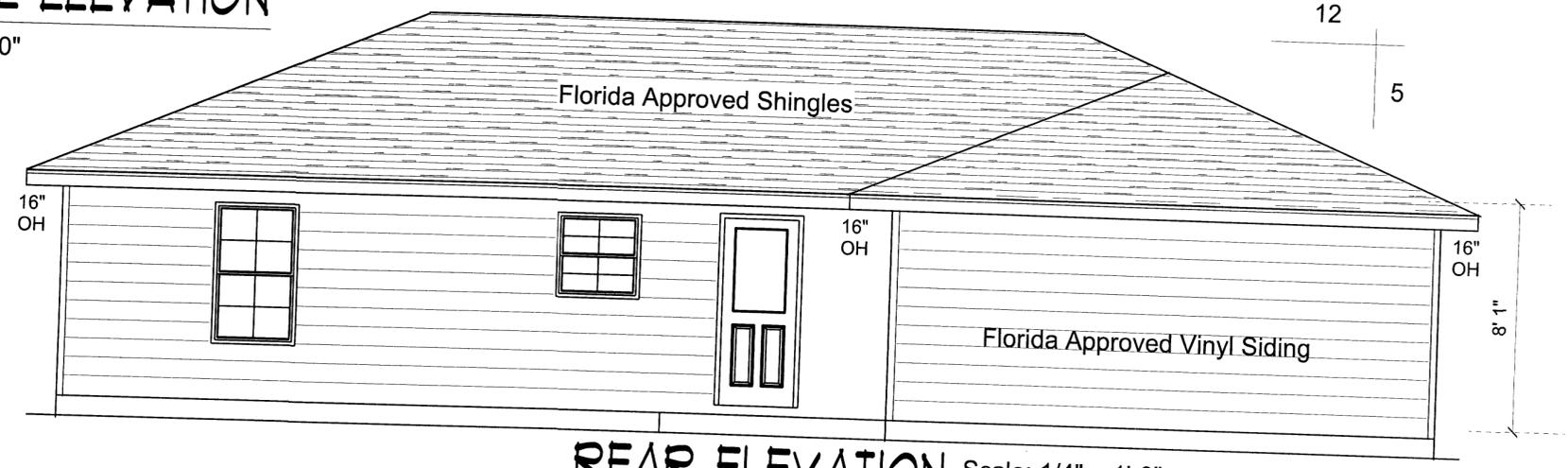
**RIGHT SIDE ELEVATION**

Scale: 1/4" = 1'-0"



**LEFT SIDE ELEVATION**

Scale: 1/4" = 1'-0"



**REAR ELEVATION**

Scale: 1/4" = 1'-0"

**The Van Hoosen Residence**

3035 North 15th Ave.  
Milton, Fl. 32583

**SRC Housing Program**

**ELEVATIONS**

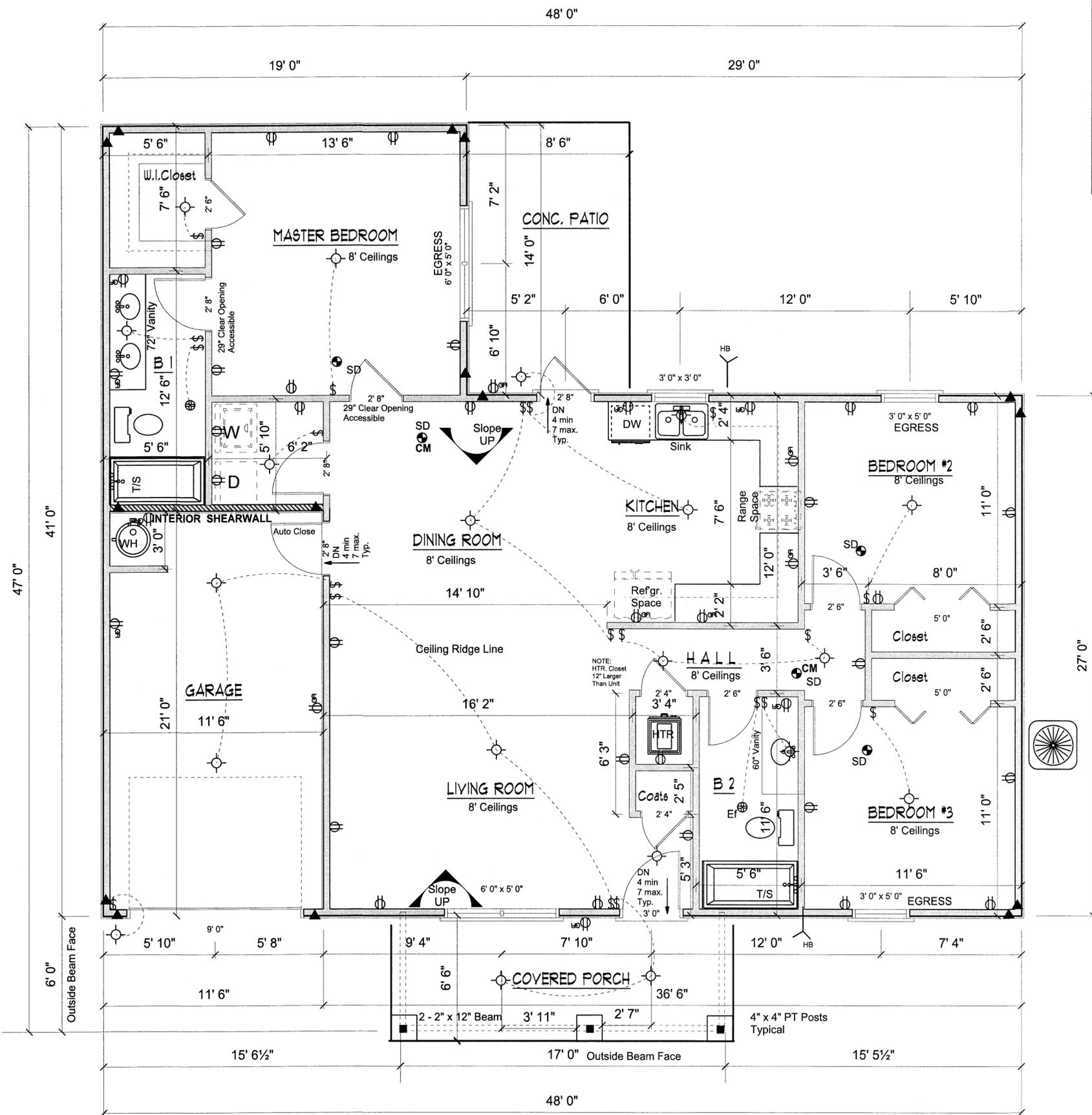
**Tom E. Hunt**  
Residential Designs, Inc.  
945 West Michigan Avenue, Unit 3B  
Pensacola, Florida 32505  
Phone: 438-2300  
Website: www.tomehunt.biz

Drawn By: Tom Hunt  
Dwg. # 1384-S1-3326  
July 12, 2016

**WALL ANCHORS: (SEE DETAIL SHEETS)**

See Foundation Plan For Tie-Rod & PA28 Placement Where Applicable

- ALL INTERIOR AND EXTERIOR LOAD BEARING SHEARWALLS**  
5/8" x 10" JBOLT W/ 2" WASHER REQUIRED AT WITHIN 8" EACH SIDE OF ALL LOAD BEARING (INTERIOR AND EXTERIOR) WALL OPENINGS. CORNERS AND AT 48" O.C.  
  
(EACH SIDE OF GARAGE DOOR & OTHER OPENINGS OVER 8 FT)
- ▲ : 5/8" THREADED TIE-ROD COUPLED TO 5/8" ANCHOR BOLT EXTENDED ROD THROUGH TOP PLATE AND FASTEN W/ 3" x 3" x 3/16" WASHER AND HEX NUT.  
  
- 1/2" THREADED ROD MAY BE USED IN LIEU OF 5/8" THREADED ROD USE REDUCING COUPLER AT 5/8" ANCHOR BOLT  
  
- THREADED RODS MAY BE EPOXIED INTO CONCRETE W/ SIMPSON SET EPOXY-TIE SYSTEM. PROVIDE 6" Min. EMBEDMENT.



**NOTE:**  
Electrical Diagram is suggestive only. Consult owner for further information on type, number and location of all fixtures.  
**All electrical in these plans are in compliance with the 2011 National Electrical Code (NEC)**  
Smoke detectors To Be Handwired Interconnected & have Monitored Battery Backup In All Bedrooms & Halls To Bedrooms. Carbon Monoxide Detectors in Halls 10' Max. from Bedrooms

**FOOTAGES:**

LIVING AREA (Frame)	= 1340 s.f.
FRONT PORCH	= 100 s.f.
GARAGE	= 252 s.f.
<b>TOTAL</b>	<b>= 1736s.f.</b>

**The Van Hoosen Residence**  
3035 North 15th Ave.  
Milton, Fl. 32583  
SRC Housing Program

**FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**Tom E. Hunt**  
Residential Designs, Inc.  
945 West Michigan Avenue, Unit 3B  
Pensacola, Florida 32505  
Phone: 438-2300  
Website: www.tomehunt.biz

Provisions for Balanced Air:  
\* Pressure differentials across closed doors where returns are centrally located shall be limited to 0.01 inch WC(2.5 Pa) or less. Pressure differentials across fire walls in ceiling space plenums shall be limited to 0.01 inch (2.5 Pa) by providing air duct pathways of air transfer pathways from the high pressure zone to the low zone.  
\*Habitable room only shall be required to meet these requirements for proper balanced return air

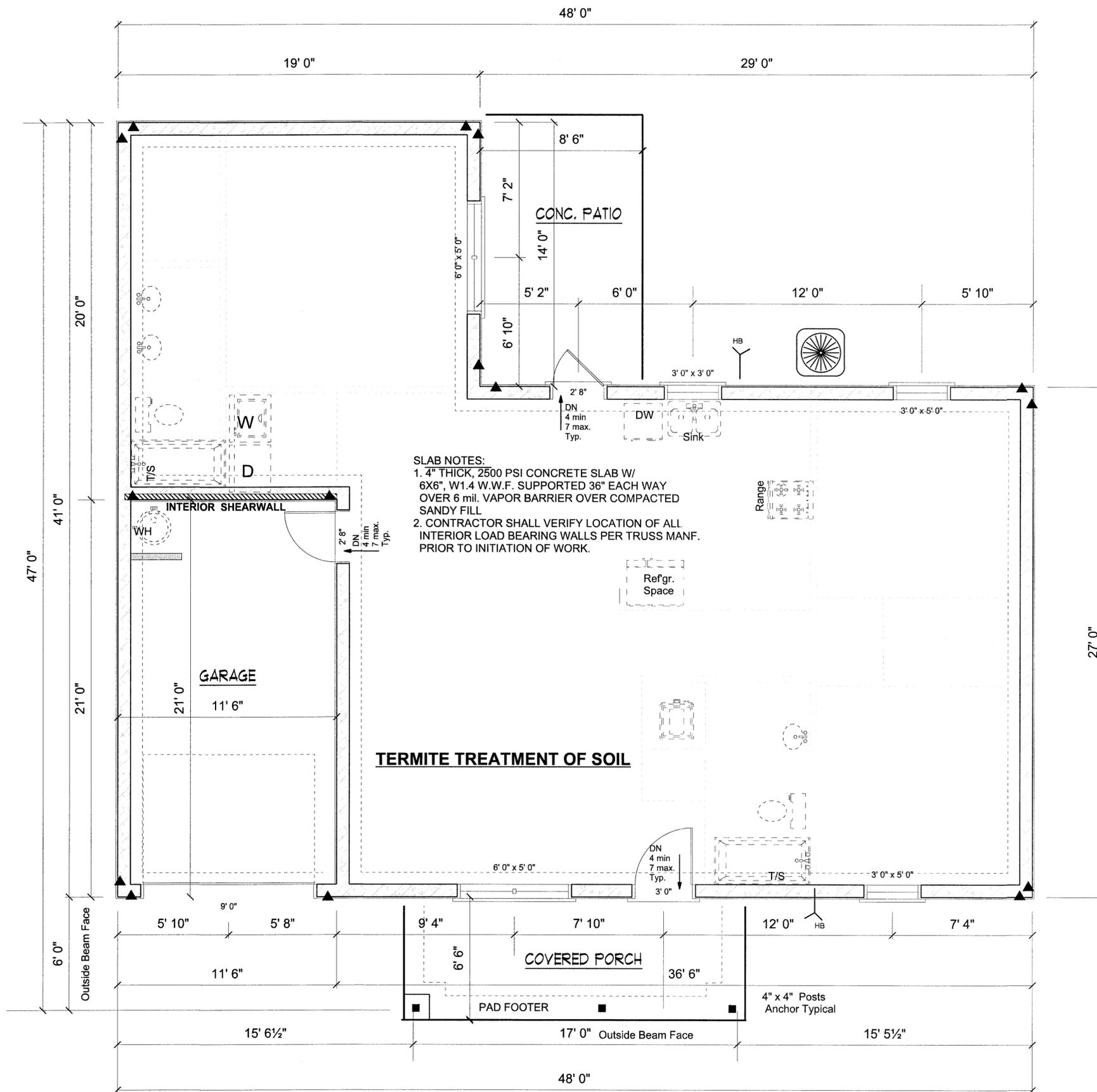
Drawn By: Tom Hunt  
Dwg. # 1384-S1-3326  
July 26, 2016

E:\Plans\SERVER\_F\softplan Drawings\2013 2014 2015 Projects\Prince 12-10-13

**WALL ANCHORS: (SEE DETAIL SHEETS)**

See Foundation Plan For Tie-Rod & PA28 Placement Where Applicable

1. **ALL INTERIOR AND EXTERIOR LOAD BEARING SHEARWALLS**  
5/8" x 10" JBOLT W/ 2" WASHER REQUIRED AT WITHIN 8" EACH SIDE OF ALL LOAD BEARING (INTERIOR AND EXTERIOR) WALL OPENINGS. CORNERS AND AT 48" O.C.
- (EACH SIDE OF GARAGE DOOR & OTHER OPENINGS OVER 8 FT)
2. ▲ : 5/8" THREADED TIE-ROD COUPLED TO 5/8" ANCHOR BOLT EXTENDED ROD THROUGH TOP PLATE AND FASTEN W/ 3" x 3" x 3/16" WASHER AND HEX NUT.
- 1/2" THREADED ROD MAY BE USED IN LIEU OF 5/8" THREADED ROD USE REDUCING COUPLER AT 5/8" ANCHOR BOLT
- THREADED RODS MAY BE EPOXIED INTO CONCRETE W/ SIMPSON SET EPOXY-TIE SYSTEM. PROVIDE 6" Min. EMBEDMENT.



**The Van Hoosen Residence**

3035 North 15th Ave.  
Milton, Florida 32583

**FOUNDATION PLAN**

SCALE: 1/4" = 1'-0"

**Tom E. Hunt**  
Residential Designs, Inc.

945 West Michigan Avenue, Unit 3B  
Pensacola, Florida 32505

Phone: 438-2300

Website: www.tomhunt.biz

Drawn By: Tom Hunt

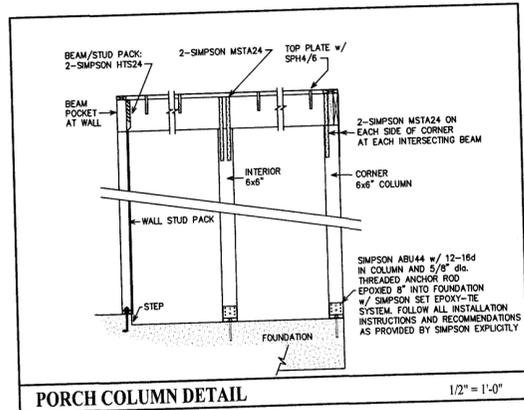
Dwg. # 1384-S1-3326

July 12, 2016

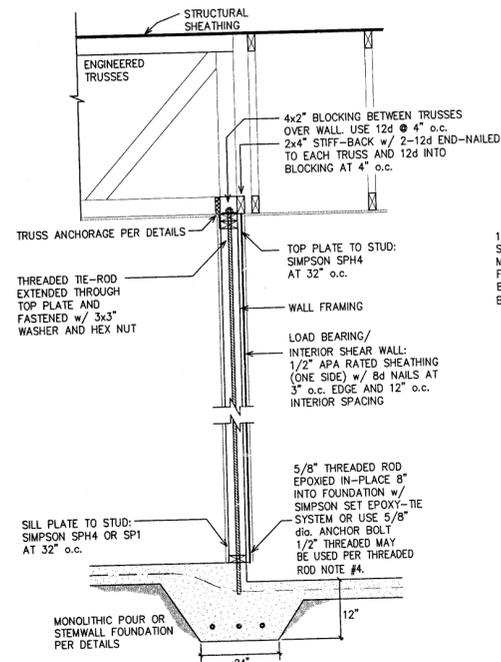
SHEET  
**A3** of 3



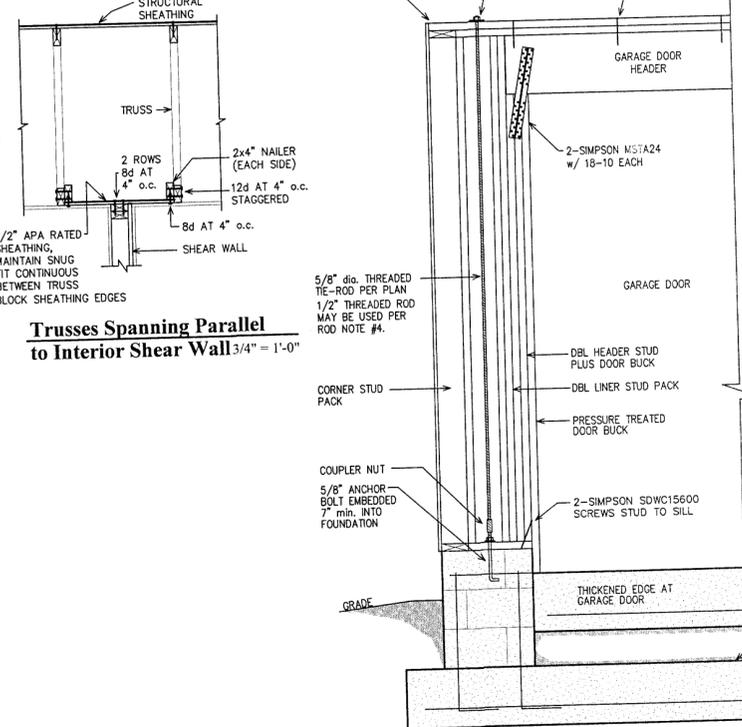
DATE	by



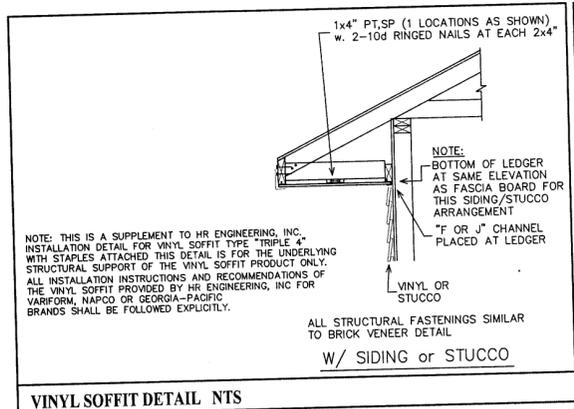
**PORCH COLUMN DETAIL**  
1/2" = 1'-0"



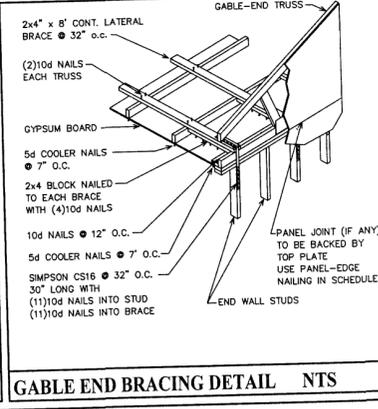
**Interior Shear Wall at Garage**  
3/4" = 1'-0"



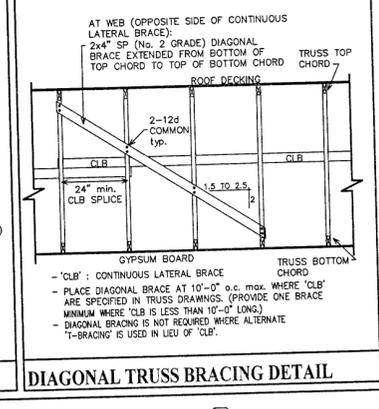
**Typ. Garage Door Opening**  
3/4" = 1'-0"



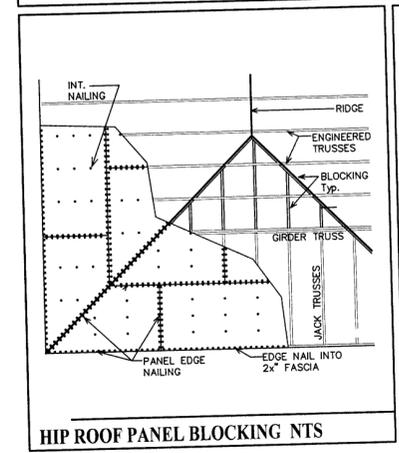
**VINYL SOFFIT DETAIL NTS**



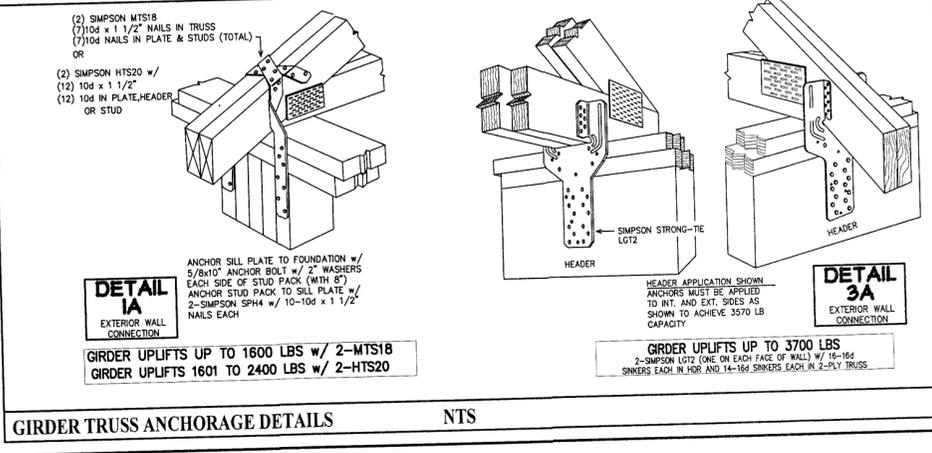
**GABLE END BRACING DETAIL NTS**



**DIAGONAL TRUSS BRACING DETAIL**



**HIP ROOF PANEL BLOCKING NTS**



**GIRDER TRUSS ANCHORAGE DETAILS NTS**

Lane and Hatcher Engineers, LLC  
cert. of auth. 9481  
113 S Alcaniz St  
Pensacola, FL 32502  
(850) 437-9715

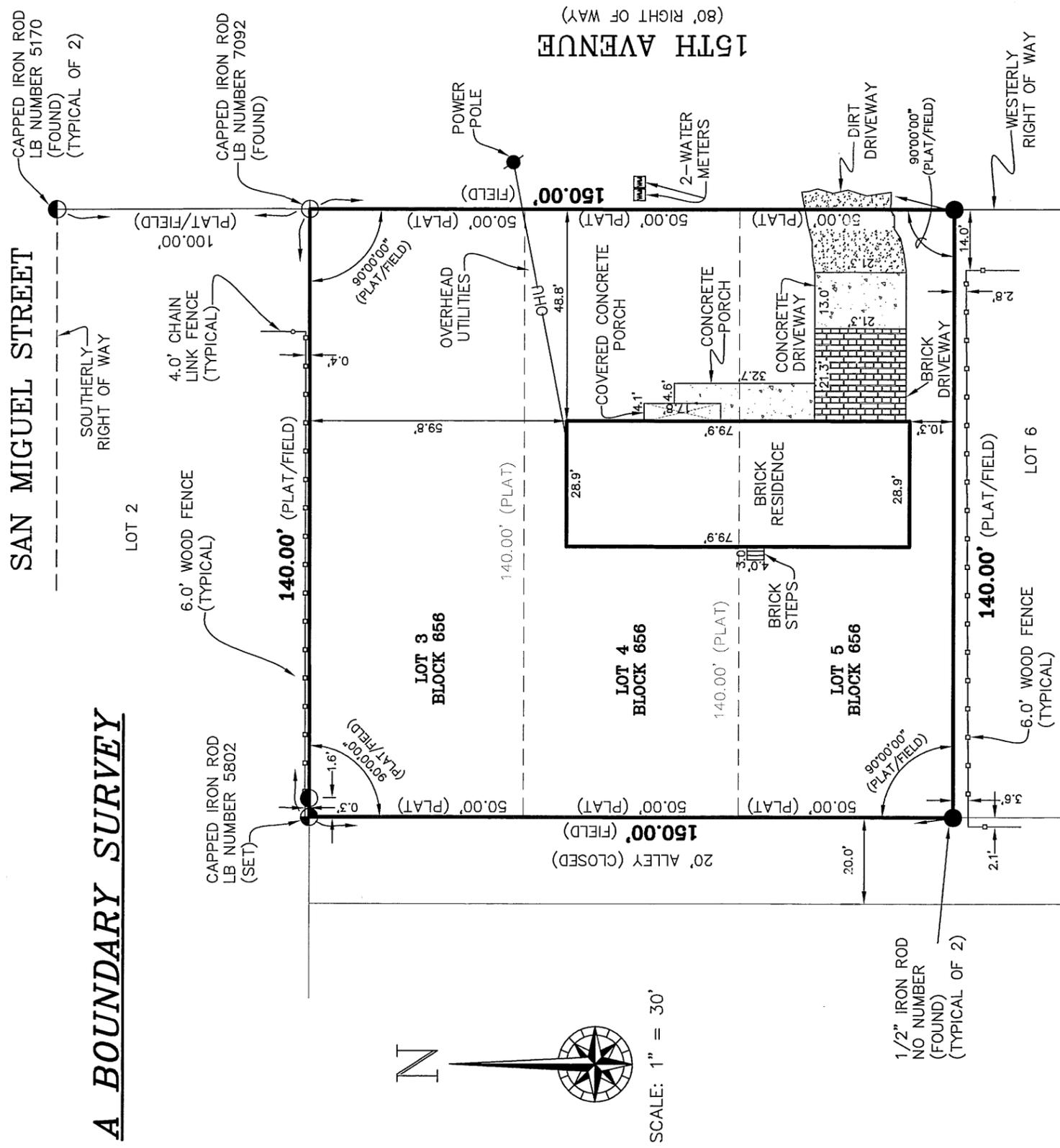
FL Cert: 56873  
drawn by: ACH  
Checked by: ACH  
Date: 02-02-15  
Scale: as noted  
Job No: 1502  
SHEET S2  
ENGINEER'S SHEET 2 OF 2 SHEETS

# SOUTHERN SURVEYING, INC.

## LAND SURVEYORS \* LAND PLANNERS

8883 ANTIETAM ROAD  
MILTON, FLORIDA 32583

PHONE: (850) 983-3743 or (850) 939-4299  
FAX: (850) 939-1960



### GENERAL NOTES:

- 1) SOUTHERN SURVEYING, INC., HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS OR ANY UNDERGROUND IMPROVEMENTS THAT MIGHT EXIST. VISIBLE EVIDENCE OF EASEMENTS WILL BE SHOWN HEREON.
- 2) MEASUREMENTS ARE MADE TO U.S. STANDARDS.
- 3) PROPERTY IS SUBJECT TO ZONING SETBACKS AND RESTRICTIONS OF RECORD.
- 4) THE ACCURACY OF MEASUREMENTS PERFORMED MEETS THE RELATIVE ERROR OF CLOSURE PERMISSIBLE IN A SUBURBAN LAND AREA.
- 5) NOTICE: THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.
- 6) BEARING REFERENCE: THE ANGLES SHOWN HEREON ARE BASED ON EXISTING FIELD EVIDENCE.
- 7) BUILDING SETBACKS, WHEN SHOWN, ARE PER PLAT. CHECK RESTRICTIVE COVENANTS FOR ANY DISCREPANCIES.
- 8) NOTE THAT THE SURVEYOR AS NAMED HEREON IS CERTIFYING TO THE DATE OF THE FIELD WORK AND NOT THE SIGNATURE DATE.
- 9) THIS SURVEY DOES NOT REFLECT OR DETERMINE OWNERSHIP.
- 10) ADDITIONS OR DELETIONS TO SURVEY DRAWINGS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED.
- 11) THIS SURVEY IS PREPARED FOR THE EXCLUSIVE USE AND BENEFIT OF THE PARTIES LISTED HEREON. LIABILITY TO THIRD PARTIES MAY NOT BE TRANSFERRED OR ASSIGNED.

### SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY THAT THE SURVEY SHOWN HEREON MEETS THE FLORIDA STANDARD OF PRACTICE SET FORTH BY THE BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN THE STATE OF FLORIDA, ACCORDING TO FLORIDA ADMINISTRATIVE CODE, CHAPTER 5J-17.051 THRU 5J-17.053, PURSUANT TO CHAPTER 472.027, FLORIDA STATUTES.

NOT VALID WITHOUT  
THE SIGNATURE AND THE  
ORIGINAL RAISED SEAL OF  
A FLORIDA LICENSED  
SURVEYOR AND MAPPER

CHARLES E. MARTIN  
PROFESSIONAL SURVEYOR  
AND MAPPER NUMBER 3463

DATE: 9/19/2016

CORP. NO. 5802

REQUESTED BY:

**SANTA ROSA HOUSING PROGRAM**

SCALE: 1" = 30'

DRAWN BY: BUJH

A BOUNDARY SURVEY OF LOTS 3, 4 & 5, BLOCK 656,  
AVALON BEACH

FIELD BOOK: 1401 PAGE: 63-65

FIELD DATE: 09/16/2016

DRAWING NUMBER  
**16-194**

### DESCRIPTION:

(O.R. BOOK 3361,  
PAGE 1500)

LOTS 3, 4 AND 5, BLOCK 656, AVALON BEACH, ACCORDING TO PLAT RECORDED IN PLAT BOOK A, PAGES 1-10, OF THE PUBLIC RECORDS OF SANTA ROSA COUNTY, FLORIDA.

### FLOOD STATEMENT:

THE PARCEL SHOWN HEREON IS LOCATED IN FLOOD ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN, ACCORDING TO MAPS PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, COMMUNITY-PANEL NUMBER 120274 0440 G, DATED DECEMBER 19, 2006.