



SANTA ROSA COUNTY BOARD OF COMMISSIONERS

Santa Rosa Administrative Offices
6495 Caroline Street, Suite M
Milton, Florida 32570-4592



JAYER WILLIAMSON, District 1
ROBERT A. "BOB" COLE, District 2
W. D. "DON" SALTER, District 3
ROB WILLIAMSON, District 4
R. LANE LYNCHARD, District

TONY GOMILLION, County Administrator
ROY V. ANDREWS, County Attorney
JAYNE BELL, OMB Director

MEMORANDUM

TO: Board of Commissioners

FROM: Tony Gomillion, County Administrator

DATE: March 7, 2016

SUBJECT: Update on Coastal Concessions and Navarre Beach Pier

DISCUSSION

Discussion of the Coastal Concessions management agreement for the operation of the Navarre Beach Pier.

BACKGROUND

At the January 14, 2016 meeting, the Board directed staff to work with Coastal Concessions to develop a plan for reimbursement of personnel cost associated with dedicated gate receipt collections, County assumption of the daily maintenance of the pier and restrooms, the direct delivery of gate receipts to the County, and to review startup cost incurred by Coastal Concessions that may be outside the contractual scope. The action items related to gate collections, personnel cost reimbursement and delivery of gate receipts to the County are in place, subject to any continued adjustments or process improvements.

In order to provide a framework for review of the startup cost, the County Attorney, Navarre Beach staff and myself met onsite with Coastal Concessions January 21, 2016 to review the site and to discuss their broad categories of expenses that they felt should be considered. During those discussions I outlined the methodology I would use for evaluations, as well as made them aware of the level of documentation I would need in order to make a decision. The documentation I outlined as part of the review included, the RFP that was utilized for the solicitation of the pier management agreement, the proposal submitted by TC Coastal Porch/Coastal Concessions, the contract dated December 12, 2013 and any additional supporting documentation Coastal Concessions or staff could provide.

The following are the areas that I feel comfortable recommending based on the information I have been provided.

- **Walk-in cooler-** The walk-in cooler was shown on the RFP as attached and would have been considered part of the structure. **Cost \$4,622.66**
- **Horse shoe bar in the cabana area-** This would have been attached and would have been considered a part of the structure prior to removal. **Cost \$3,961.71**

I have had ongoing discussions and exchanges with Coastal Concessions since the January 21st meeting related to the need for detailed receipts and descriptions of cost beyond the gross categories of expenses; however for various reasons they have struggled to be able to obtain additional detailed information. The above cost are the only ones that I can recommend for consideration of offset against the outstanding 2015 expenses.

ACTIONS TO BE CONSIDERED

1. Allow the above noted expenses to be utilized as an offset against the outstanding items in the County Attorney's letter dated November 17, 2015 or other related adjustments that the Board might deem appropriate in this matter.
2. Direct staff to provide an amended agreement that represents the changes authorized in January's meeting and inclusive of any additional Board action this week.

Note: Coastal Concessions has expressed a desire to stipulate to a change in gross receipts tax from 3.1% to 5%.

Walk-In Cooler Replacement

\$4,622.66

(850) 916-9600
 Fax (850) 916-2100

A-BEAR REFRIGERATION, INC.
 GULF BREEZE, FLORIDA 32561

No 54437
 288 Plantation Hill Road
 www.abearefrig.com

CUSTOMER'S ACCOUNT NO. _____

SOLD TO Pier Door

INVOICE DATE _____ 20 _____

ADDRESS _____

DATE OF SERVICE 3-21-14 20 _____

CITY & STATE _____

MECHANIC Greg

TERMS-NET 10 DAYS

MAKE <u>Datsun</u>	MODEL NO. <u>317310460</u>	DESCRIPTION <u>Walk-In Free Cooler</u>	SERIAL NO. <u>71A14200</u>
INSTALLER COMP	SIC	WARRANTY PARTS	LEASED
TYPE OF SERVICE			
REPOSITION	REWORK/REPAIR	SHOP TIME	CONTRACT SERVICE
C.O.D.	TYPE OF BILLING APPROVED CREDIT		

It returned today to finish doing the install. After everything was hooked up I found the evaporator coil had a leak in it. I got approval to replace it with a new one. We got it all hooked up & it is now running & cooling very well. We pulled & got vacuum charge & weighed in a free charge.

Eqpt # 71P201MAS1BRZ
 10' S# 11208529

PAID 2162
2154

PAID

QUAN	PART NO.	DESCRIPTION	PRICE	AMOUNT	TIME IN:	TIME OUT:
		SURCHARGE ON FUEL/SERVICE				
100 th		3/4 copper		163 ⁰⁰		
60 th		1/2 copper		70 ⁰⁰		
60 th		3/4 x 1/2 insulation		40 ⁰⁰		
1		Evaporator coil		1700 ⁰⁰		
700 th	2-22	Freeze		210 ⁰⁰		
1		1-53.5 Disc		75 ⁰⁰		
1		Right Vacuum		30 ⁰⁰		
1		Floor Track		444 ⁰⁰		
TOTAL PARTS						
TOTAL LABOR						
TOTAL PARTS						
SUB TOTAL						
TAX					041	

DEF. COMP. MODEL NO. R5701E-7FC-232
 DEF. COMP. SERIAL NO. 11A53177H
 PURCHASE ORDER NO. 12529

		AMOUNT
Hours Labor @	Per Hr	
Hours Overtime @	Per Hr	
Hours Helper @	Per Hr	
Hours Overtime @	Per Hr	
TOTAL LABOR		
TOTAL PARTS		
SUB TOTAL		
TAX		041

HOURS OF LABOR	12	1	2	3	4	5	6	7	8	9	10	11	12	1	2	3	4	5	6	7	8	9	10	11	PLEASE PAY THIS AMOUNT	3622	46
----------------	----	---	---	---	---	---	---	---	---	---	----	----	----	---	---	---	---	---	---	---	---	---	----	----	------------------------	------	----

THIS IS YOUR INVOICE
 REMIT TO:
 288 PLANTATION HILL
 GULF BREEZE, FLORIDA 32561

TERMS: CASH UNLESS ARRANGEMENTS ARE MADE. I hereby authorize the above repair work to be done along with the necessary materials, and an express mechanic's lien is acknowledged on the repaired equipment to secure the amount of repairs thereto.

I have read, understand and accept all provisions of this service order.
 BY: Robert [Signature]
 CUSTOMER'S SIGNATURE

01-09-2014
Publix
Tallahassee, FL

Vision Equipment and Auction Co.
4191 West St NW
Covington, GA. 30014
(800) 391-3550
www.visionequipment.com

Invoice
Buyer: 39

Joshua Picket
Coastal Concession

850-637-6117

Page: 1

Item	Description	Tax	Price	Qty	Total
10	1st aid kit	Y		1	12.50
12	Fire extinguisher	Y	25.00	4	100.00
23	Candy racks	Y	10.00	2	20.00
-	Gift card rack	Y		1	5.00
49	Madix shelving	Y	15.00	20	300.00
-	Display	Y		1	10.00
107	Wood bakery displays	Y	50.00	5	250.00
125	Green metro racks	Y	40.00	6	240.00
-	Gray shelf	Y	5.00	3	15.00
344	Wire display	Y		1	40.00
353	Display	Y		1	90.00
351	Condensing unit	Y		1	500.00
179	Misc. displays	Y	5.00	6	30.00
192	3-compt sink	Y		1	595.00
207	8x8 walk-in	Y		1	500.00
211	Hand sink	Y		1	35.00
216	Sheet pan rack	Y		1	55.00
233	Hand sink	Y		1	45.00
252	4' s/c work counter	Y		1	650.00
281	Ingredient bins	Y		1	47.50
275	Sheet pans	Y	9.50	7	66.50
273	Bakery utensils	Y		1	115.00
298	Poly table	Y		1	260.00
308	Pot rack	Y		1	100.00
306	Hood	Y		1	1,600.00
323	Bug light	Y		1	40.00
320	S/s table	Y		1	90.00

Store only

walk-in
walk-in

Items: 27 Amount: 5,811.50
 Premium: 581.15
 Sub-total: 6,392.65
 Tax: 383.56
 Total: 6,776.21

#2146 Check: 6,776.21

Thank you for your attendance at today's auction.
All items sold as-is, where-is.

Cabana Bar Countertop Rebuild

and

Walk-in Cooler deck repair

\$3,961.71

COBIA BUILDING
 1128 tall pine trail
 GULF BREEZE, FL 32561

FL

INVOICE

4102014

Customer:	NAVARRE PEIR	Phone:	
Contact:		Home:	
Work Address:	NAVARRE BEACH, FL.	Fax:	
Billing Address:	SAME	Other: Cellular	
Third Party Information:		Requested Delivery Date:	
MATERIALS & INSTALLATION DESCRIPTION:			PRICE:

WORK PERFORMED ON PIER BAR

BUILDOUT BAR ON OUTSIDE DECK -
INSTALL COUNTERTOP (WOOD) OWNER PROVIDED

\$2,864.50

PAID- 4/10/2014- \$700.00
 PAID- 4/22/2014- \$1,164.50
 PAID- 5/5/2014 \$1,000.00

[Signature Box]

comments: PAYMENT DUE AT COMPLETION	Total:	\$2,864.50
	Deposit:	\$300.00
	Balance:	\$2,564.50

I have reviewed and agree with the above description of services to be performed. The TERMS AND CONDITIONS stated in this document are an integral part of the Sales Contract. By signing below, I confirm that I have read, understand and accept these TERMS AND CONDITIONS and herewith authorize TED COBIA to proceed with the described services.

TED COBIA _____ 4/10/14
 DATE

 CUSTOMER DATE

MAKE CHECK TO: _____ COBIA BUILDING CONTRACTORS, INC. 850-554-8659

COBIA BUILDING C
 1128 tall pine trail
 GULF BREEZE, FL 32561

FL

INVOICE

12242014

Customer:	NAVARRE PEIR	Phone:	
Contact:		Home:	
Work Address:	NAVARRE BEACH, FL.	Fax:	
Billing Address:	SAME	Other: Cellular	
Third Party Information:		Requested Delivery Date:	
MATERIALS & INSTALLATION DESCRIPTION:			PRICE:

12/24/14 WORK PERFORMED ON BEER COOLER

REMOVE PLYWOOD UNDER DECK TO ACCESS BELOW COOLER
 INSTALL DRAIN IN COOLER
 BOLT DOWN COOLER TO DECK WITH L- BRACKETS \$618.00
 INSTALL TIEDOWNS WITH CABLE AS PER DRAWINGS SUBMITTED TO SANTA ROSA COUNTY
 PURCHASE PERMIT FOR COOLER TIEDOWN \$679.04

PAID \$300.00

PULLED PERMIT FOR BAR ENCLOSURE INSPECTION
 PERMIT COST - \$200.17 \$200.17
 CONTRACTOR FEE- \$200.00 \$200.00

comments: PAYMENT DUE AT COMPLETION	Total:	\$1,697.21
	Deposit:	\$300.00
	Balance:	\$1,397.21

I have reviewed and agree with the above description of services to be performed. The TERMS AND CONDITIONS stated in this document are an integral part of the Sales Contract. By signing below, I confirm that I have read, understand and accept these TERMS AND CONDITIONS and herewith authorize TED COBIA to proceed with the described services.

TED COBIA _____ 7/7/15
 DATE

 CUSTOMER DATE

MAKE CHECK TO: _____ COBIA BUILDING CONTRACTORS, INC. 850-554-6659

Invoice 0527

Coastal Concessions, LLC

2270 Hwy 87, Navarre, FL 32566



COASTAL CONCESSIONS

Date
2015

To
Santa Rosa County
Milton, FL

Work Performed At:
Navarre Beach Fishing Pier
8579 Gulf Blvd.
Navarre, FL 32566

Description:

This was worked performed in the year 2014 per engineers' drawings. Contractors were Ted Cobia, American House Plans, Dean Spencer Engineering, East Coast Chair & Barstool, and Coastal Concessions.

Quantity	Description	Unit Price	Total
Bar & Enclosure Cost:			
	Labor Hours	20.00	\$13,361.71
1	Material		\$27,275.20
Electrical:			
388	Labor Hours	35.00	\$13,580
1	Material		\$12,053
Seating:			
1	Labor & Material		\$5988.22
Engineer	Labor		\$2,000.00
Total Due By now			74,258.13

Thank you for your business!

Tel: 850-686-2141

Email: smaddox@coastalconcessions.com

Web: www.coastalconcessions.com

November 17, 2015, County Attorney letter to
Coastal Concessions

and

Clerk's Office Updated 2015 Balance



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R. LANE LYNCHARD, District 5

HUNTER WALKER, County Administrator
ROY V. ANDREWS, County Attorney
JAYNE BELL, OMB Director

November 17, 2015

**CERTIFIED MAIL, RETURN
RECEIPT REQUESTED**

Mr. Scott Rayner, Managing Member
COASTAL CONCESSIONS, LLC
2270 Highway 87
Navarre, Florida 32566

RE: Navarre Beach Gulf Pier

Dear Mr. Rayner:

Pursuant to the Agreement for Operation and Management of Navarre Beach Gulf Pier and Concessions dated January 1, 2014, entered into between your company and Santa Rosa County, Florida, you are hereby notified that you are in breach of the said Agreement by your failure to pay the following sums:

\$ 6,996.60	2014 Audit under reported admission fees
\$ 186.43	2014 Audit 3.1% under reported sales
\$ 8,124.77	2014 Audit Late Fees
\$ 28,762.61	September Collections
\$ 1,438.13	Late fee on September Collections
\$ 1,438.13	Returned check fee on September Collections
\$ 28,908.02	Utilities paid by the County on behalf of Coastal Concessions
(Unknown)	October Collections – due 11-16-2015
(Unknown)	Late Fee on October Collections – due 11-16-2015

You are required to remove and cure this breach within thirty (30) days of the date of this notice. Failure to do so will result in Santa Rosa County declaring the agreement rescinded and the County will, without further notice, re-enter and retake possession of the premises.

Mr. Scott Rayner, Managing Member
November 17, 2015
Page 2

PLEASE BE GOVERNED ACCORDINGLY.

Sincerely,

A handwritten signature in blue ink, appearing to read "Roy V. Andrews", with a long horizontal flourish extending to the right.

Roy V. Andrews
County Attorney

RVA/wcp

cc: Mr. Scott Rayner, Managing Member (U. S. Regular Mail)
Santa Rosa County Board of County Commissioners
Hunter Walker, County Administrator

Tony Gomillion

From: Tony Gomillion
Sent: Monday, February 29, 2016 8:12 AM
To: Tony Gomillion
Subject: FW: Coastal Concessions/NB Pier agreement

From: Mike Burton [mailto:burtonm@flcfn.net]
Sent: Monday, February 29, 2016 8:07 AM
To: Tony Gomillion <TonyG@santarosa.fl.gov>; Clerk's Office - Wade Burroughs <burroughsw@flcfn.net>
Cc: Roy Andrews <RoyA@santarosa.fl.gov>
Subject: RE: Coastal Concessions/NB Pier agreement

Tony,

Based on the information I have, this are the amounts still owed.

6,996.60	2014 Audit under reported admission fees
186.43	2014 Audit 3.1% under reported sales
8,124.77	2014 Audit Late fees
1,438.13	Late fee on September Collections
28,908.02	Utilities paid by the County on behalf of Coastal Concessions

45,653.95

The credit card transactions are now going directly to our bank. They have not given us a check for the credit card transaction done before they started going directly to our bank, but this is due to being able to reconcile, which I would think we should have the difference by mid March.

Thanks,

Mike

Tony Gomillion
County Administrator
850-983-1877

Customer service is important to us. In order to continue our effort for improved customer service, please complete this online survey. www.santarosa.fl.gov/customerservice

From: Mike Burton [mailto:burtonm@flcfn.net]
Sent: Monday, February 29, 2016 8:07 AM
To: Tony Gomillion <TonyG@santarosa.fl.gov>; Clerk's Office - Wade Burroughs <burroughsw@flcfn.net>
Cc: Roy Andrews <RoyA@santarosa.fl.gov>
Subject: RE: Coastal Concessions/NB Pier agreement

Tony,

Based on the information I have, this are the amounts still owed.

Excerpt from January 14, 2016 minutes
that show
Board of County Commissioner's Actions

Eqpeguukqpu'y km'o cng"vj g"f gcf nlp"cpf "y gtg"j qr lpi "vj cv"uqo g"qh"vj g"tglo dwtugo gpvu" y qwf "j cr r gp"uqppgt"vj cp"tvt0" ""

Eqrg'uckf "j g"j cu"r tqdrgo "o qxkpi "hqt y ctf "y kj "pgi qvckvqpu"khEqcucnEqpeguukqpu"ecppqv" i gv"ecwi j v"wr 0"J g"uckf "vj ku"ku"pqvEqcucnEqpeguukqpu"o qpg{="k"ku"Ucpxc"Tuq"Eqwpv{ur" o qpg{0" ""

Ueqw{Tc{pgt"*EqcucnEqpeguukqpu"+uckf "vj g"tgcuqp"y j { "vj g{ "ctg"rv"ku"dgecwug"oy go"ukm" j cxg"vq"o clpvckp"cmqhv"j g"rdqt"cpf "gZR gpugu"qhr"kt0"J g"uckf "vj ku"ku"pqvc"r tkxcv"dwukpau0" Tc{pgt"uckf "EqcucnEqpeguukqpu"j cu"r wdne"s wctvgt"o kg"r kt"vj cv"y g"j cxg"vq"o clpvckp0" J g"uckf "vj ku"ku"pqv"vj g"eqptcev"vj cv"vj g"r tgxlqwu"qr gtcvqtu"j cf 0" Tc{pgt"uckf "vj g"r tgxlqwu" qr gtcvqtu"j cf "uwr r qtv"y kj "vj g"gzr gpugu"cpf "ergcpw ."Hqo "vj g"eqwpv{0"J g"uckf "EqcucnEqpeguukqpu"y cu"cpvckr cvkpi "&62.222022/&72.222022"vq"o clpvckp"vj g"r kt"cppwcm{0" Tc{pgt" uckf "vj ku"j gct"kv"j cu"equv"&3: 2.222022"vq"o clpvckp"vj g"r kt0"J g"uckf "vj gug"co gpf o gpv"ctg"c" drguuki "cpf "tghgev"emug"vq"vj g"r tkt"eqptcev0" Tc{pgt"uckf "vj gug"co gpf o gpv"y km"cmqy " EqcucnEqpeguukqpu"cpf "vj g"eqwpv{ "vq"kvwtg"vj cv"pqqg"qh"vj ku"j cr r gpv"ci clp0" Tc{pgt"uckf " j g"ku"gzvgo gn"i tcvghm0" ""

N{pej ctf "cungf "y j cv"vj g"F gego dgt"pwo dgtu"y gtg0"Ur gpegt"uckf "vj g"F gego dgt"tgegk vu"ctg" & .493060" ""

N{pej ctf "uckf "vj g"Dqctf "j cu"fkgev"v"uchh"vq"tgxky "cpf "tgeqpek"vj g"gzr gpugu0"J g"uckf " vj g" & .222022." f gr gpf lpi "qp"j qy "vj g"Dqctf "utwewtgu" vj g"o qpv"n" tgeqpek"cvkq" cpf " tglo dwtugo gpv"ht"cp"go r nq{gg."o c{ "oy cuj "qwo"y kj "vj g"go r nq{gg"gzr gpug"ht"Lcpwct{0" N{pej ctf "uckf "j g"uwr r qtu"o qxkpi "hqt y ctf "cpf "o cmkpi "vj ku"r ctv"qh"vj g"tgeqpek"cvkq"ht" Lcpwct{ "qpn{0" ""

Eqrg'uckf "j g"ku"nlp"y kj "vj ku"dw"ku"pqv"lp"hxqt"qh"c"eqptcev"gzvpuq0"J g"uckf "j g"y qwf " rnk"vq"gxgpwcm{ "fkgev"uchh"vq"uvtv"j g"r rppkpi "r tqegu"ht"pgezv{gct0" ""

N{pej ctf "uckf "vj g"tgeqpek"cvkq" f gcu"y kj "rv"hggu."vj g"f kuj ppqtg"ej gem'hgg."cpf "vj g" r qy gt"dm0"J g"uckf "vj g"tgeqpek"cvkq"ku"pqv"lpv"p"gf "vq" f gcnly kj "i cvg"hggu"dw"vq" f gcnly kj " vj g"qv"gt"gzr gpugu"vj cv"y gtg"qwu"cpf lpi 0"N{pej ctf "uckf "j g"ku"eqo hqtvdrg"y kj "j cxkpi "uchh" y ck"wpv"vj g"gpv"qh"Lcpwct{ "cpf "cr r nq{ "vj g" & .422022." qwu"cpf lpi "ht"F gego dgt."vq"vj g" f kgev"tglo dwtugo gpv"ht"Lcpwct{0" ""

Vj gtg"y cu"htv"j gt"fkewuukq"tgi ctf lpi "vj g" f gf kcvgf "go r nq{gg"hwpevqpu0" ""

N{pej ctf 'b qxgf 'cr r tqxchly kj qw'qdlgevq0"

40' Tgeqo o gpf "go r nq{o gpv"eqptcev"y kj "Dtcpf k"Y j kgj wuv"ht"Rwdne"kp"htqto cvkq"Qthleg" *RQ+r qukvq"ghgev"v"lcpwct{ "3: ."42380"N{pej ctf "b qxgf "cr r tqxchly kj qw'qdlgevq0" ""

50 Tgeqo o gpf "uej gf wipi "Dqctf "r rppkpi "y qtmij qr "qp"O qpf c{ ."Hgdwtct{ "3."4238"cv"3-22" r 0" N{pej ctf "b qxgf "cr r tqxchly kj qw'qdlgevq0" ""

60 Tgeqo o gpf "cr r tqxchly"qh"Co gpf o gpv"%3"cpf "cee"qo r cp{ lpi "tguqnvkq" *P q04238/24+"vq" kptgcug"vj g"dgcw"lcpwct{ "i tcv"cy ctf "ht" "WU"; : "r tqlgev"lp" P cxcttg0" N{pej ctf " o qxgf "cr r tqxchly kj qw'qdlgevq0" ""

70 Tgeqo o gpf "Co gpf o gpv"%3"vq" Ci tggo gpv"y kj "Hqtkf c" F gr ctvo gpv"qh" Gpxkqpo gpv"n" Rtqgevq"ht" Hqtkf c" Tgetgc"vq" Cuukvpeg" Rtqi tco " *HFF CR+"i tcv"ht" "lo r tqxgo gpv"vq" P cxcttg" Rctn0" N{pej ctf "b qxgf "cr r tqxchly kj qw'qdlgevq0" ""

80 Tgeqo o gpf "O go qtcpf wo "qh" Wpf gtucpf lpi "y kj "HGO C" cpf "P qt y y guv" Hqtkf c" Y cvgt" O cpci go gpv" F kv"lev"ht" kpxqkgo gpv"lp"vj g" Rgpucq"r" Dc{ "T km"O CR" Rtqgev0" N{pej ctf " o qxgf "cr r tqxchly kj qw'qdlgevq0" ""

90 Tgeqo o gpf "tgpy ci"qh"eqptcev"y kj "Gf o wpf "I tcdgt" I qxgtpo gpv"n" C hcku0" N{pej ctf " o qxgf "cr r tqxchly kj qw'qdlgevq0" ""

Santa Rosa County
Request for Proposals
November 19, 2013

**REQUEST FOR PROPOSALS FOR OPERATOR / MANAGEMENT
NAVARRE BEACH PIER, SANTA ROSA COUNTY, FLORIDA**

Notice is hereby given that the Board of County Commissioners of Santa Rosa County, Florida is soliciting proposals for the provision of Operator/Management Services at Navarre Beach Pier, Santa Rosa County, Florida. The successful Operator / Manager shall enter into an agreement with Santa Rosa County which will detail the services to be provided.

All proposals must be in writing and delivered by hand or Fed Ex to the Santa Rosa County Procurement Department, 6495 Caroline Street, Suite G, Milton, Florida, 32570; and must be received by 10:00 a.m., November 19, 2013. All proposals shall be sealed and clearly labeled, "**RFP- Operator/Manager – Navarre Beach Pier**". Submittals shall include one (1) original, eleven (11) copies of the proposal, and one (1) CD with the full proposal included,(each document must be in an individual PDF format file). The proposal will be publicly opened at this time. Only proposals received by the aforesaid time and date will be considered. Proposals received after the time set for opening will be rejected and returned to the submitter.

Specifications may be secured from Santa Rosa County Website (www.santarosa.fl.gov/bids) or at the Santa Rosa County Procurement Department at the above address. Telephone (850) 983-1870

Questions concerning this request should be directed to the Santa Rosa County Administrator, Hunter Walker at (850) 983-1855.

The Board of County Commissioners reserves the right to waive irregularities in bids, to reject any or all bids with or without cause, and to award the bid that it determines to be in the best interest of Santa Rosa County.

Santa Rosa County Board of County Commissioners encourages all segments of the business community to participate in its procurement opportunities, including small businesses, minority/women owned businesses, and disadvantaged business enterprises. The Board does not discriminate on the basis of race, color, religion, national origin, disability, sex, or age in the administration of contracts.

By order of the Board of County Commissioners of Santa Rosa County, Florida

LEGAL NOTICE

One issue – October 16, 2013 - Press Gazette, October 17, 2013 - Navarre Press, and October 17, 2013 - Gulf Breeze News

Bill and proof to Santa Rosa County Procurement Department, 6495 Caroline Street, Suite G, Milton, Florida, 32570, Attn.: Orrin L. Smith.

**REQUEST FOR PROPOSALS FOR
MANAGEMENT SERVICES AT NAVARRE PIER**

OBJECTIVE: Santa Rosa County is seeking proposals for the management of Navarre Pier and its ancillary facilities as follows:

SCOPE OF SERVICES:

- a. Pier admission and management - Open and close the pier at times specified by County; collect the cost of admission as established by County; sell special passes as established by County; and maintain the cleanliness and atmosphere at the pier as a fishing destination in a manner acceptable to County.
- b. Pier store - Maintain a retail store at the pier for the sale of bait, tackle, snacks, souvenirs and related items during hours established by County.
- c. Restaurant - Maintain a restaurant on the pier which offers lunch and dinner during hours established by County. The serving of breakfast would be optional.
- d. Maintain all facilities, including bathrooms which are open to the public, in a clean and orderly manner.
- e. Ensure that all possible measures are taken to safeguard the health and well-being of patrons of the pier, pier store, and restaurant. Ensure that the pier area is maintained and operated in a "family friendly" manner at all times.
- f. Any proposed use of the area under the pier or within the existing "volleyball court" area shall be clearly described.

TERM - The term for these services will be for three (3) years with an option to renew for (2) additional 1-year periods upon the agreement of both parties.

CONDITIONS:

- a. Pier operations shall be confined to use of the existing infrastructure, and no additions to the structure should be included in submittals. Any renovations/alterations to the existing facilities should be clearly described in the submittal.
- b. Pier management shall maintain commercial general liability insurance endorsed to provide contractual liability with limits in the amount of not less than \$1,000,000 combined single limits with County listed as an additional insured under the commercial general liability. Pier management shall also maintain separate liquor liability insurance with minimum coverage of \$1,000,000, naming County as additional insured.

- c. Pier rules and regulations, including but not limited to hours, holidays, closures, use of amplified sound, and acceptable activities, shall be regulated by the County in its sole discretion. The County reserves the right to establish hours for any portion of the pier facilities; however, County may allow pier management to establish separate hours for the restaurant, provided such hours are acceptable to County.
- d. Pier management shall provide to County records, documents, and books pertaining to fees, percentages, remittances or the like which are owed to County. County shall reserve the right to audit pier management for matters related to County's interests.
- e. Pier management shall present periodic business plans to County.

WRITTEN RESPONSE:

Responders' written proposals must be comprehensive, clearly detailing the proposed operation and compensation for said operation. Proposals should include which expenses are to be paid by both County and Pier Management. County reserves the right to interview responders to this RFP but may also make its selection based solely on the written responses. In the event that interviews are granted, responders will not be permitted to materially alter their written responses.





SANTA ROSA COUNTY BOARD OF COMMISSIONERS

Procurement Department



JIM WILLIAMSON, District 1
ROBERT A. "BOB" COLE, District 2
W. D. "DON" SALTER, District 3
JIM MELVIN, District 4
R. LANE LYNCHARD, District 5

Santa Rosa Administrative Offices
6495 Caroline Street, Suite G
Milton, FL 32570-4592

Hunter Walker, County Administrator
Angie Jones, County Attorney
Jayne N. Bell, OMB Director

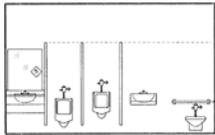
October 14, 2013

Addendum No. 1

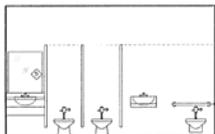
Attached are copies of the pier plans and drawings as contained within the county files.

End of Addendum No. 1

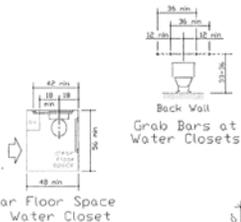
Pier Store



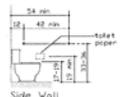
MEN'S BATHROOM ELEVATION
1/4"=1'-0"



WOMEN'S BATHROOM ELEVATION
1/4"=1'-0"

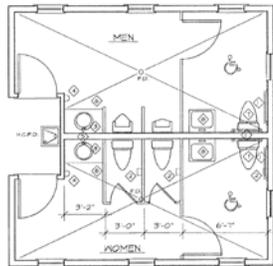


Clear Floor Space at Water Closet



Grab Bars at Water Closets

HC WATER CLOSET DETAILS

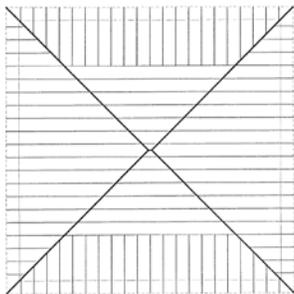


BATHROOM FLOOR PLAN
1/4"=1'-0"

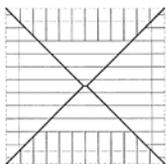
REF. NO.	ITEM DESCRIPTION	MODEL NUMBER	HEIGHT/DEPTH
1	HORIZONTAL GRAND DASH	Ø 6200X 48" H	34" TO CENTER LINE
2	BACK WALL PAPER HOLDER	B-802	4" TO CENTER LINE
3	LAVATORY MOUNTED SOAP DISPENSER	B-802	
4	WALL MOUNTED TOWEL RACK	B-802P	
5	STAINLESS STEEL FRAMED MIRROR	B-210 60X30	40" TO BOTTOM
6	MEMBER REEF COVER		1" TO FLOOR SEAT
7	MANICAP WATER CLOSET		1" TO FLOOR SEAT
8	MANICAP LAVATORY		

NOTE: ALL COMPONENTS EQUAL TO SPECIFICATIONS UNLESS NOTED OTHERWISE

HC LAVATORY DETAILS

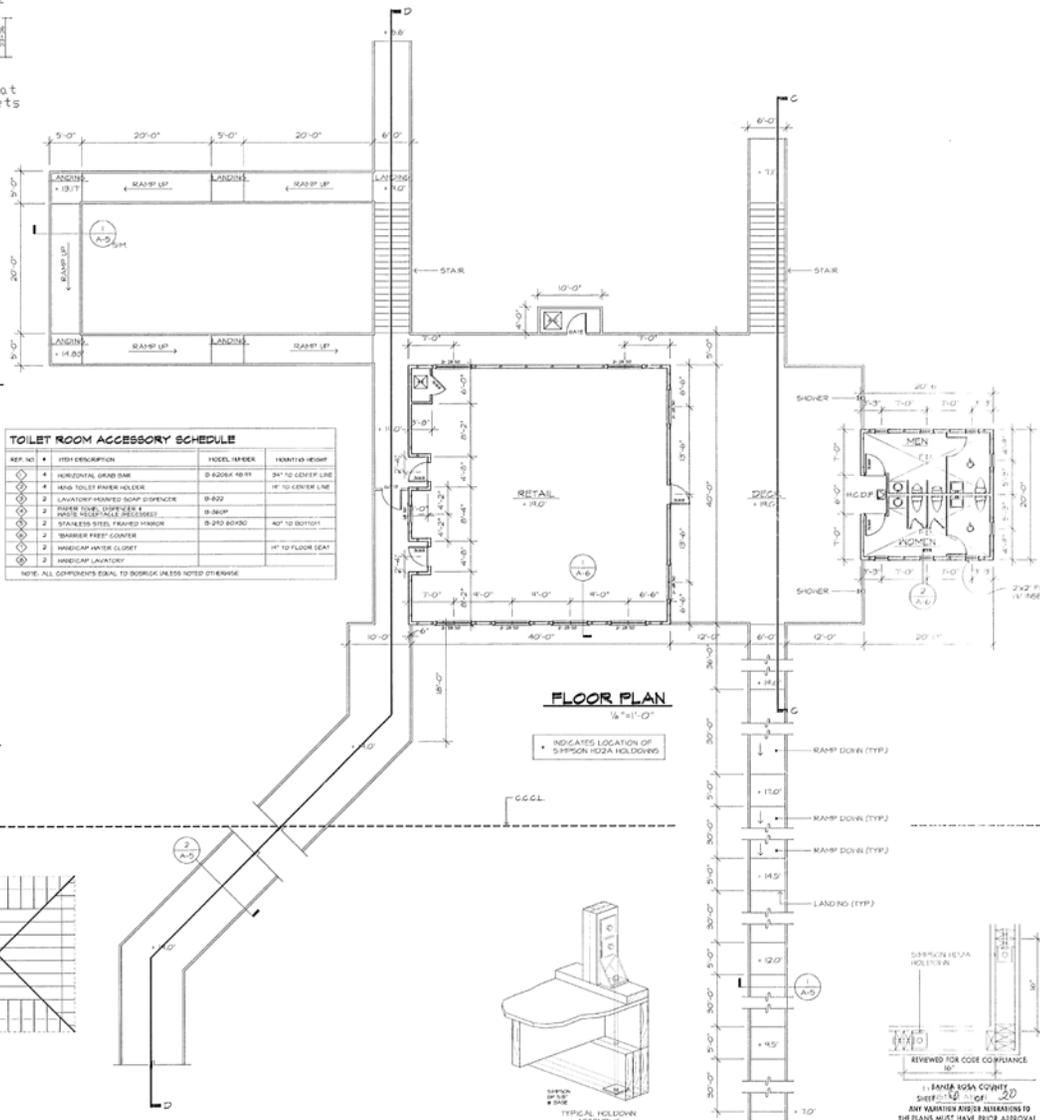


ROOF FRAMING PLAN
1/8"=1'-0"



FLOOR PLAN
1/8"=1'-0"

INDICATES LOCATION OF SIPSON HD2A HOLDINGS



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PRESKOTT ARCHITECTS
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 DUSTIN, TX 75041
 850-837-6104
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 PRESKOTT ARCHITECTS, INC.

REVISIONS

NO.	DESCRIPTION

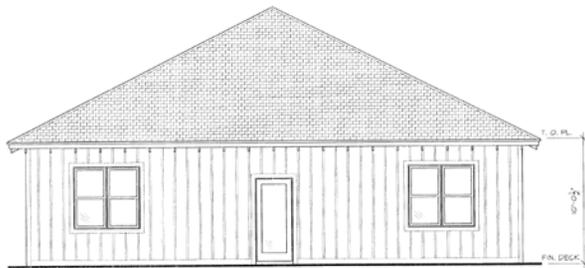
PROJECT NAME
**NAVARRA FISHING PIER
 STORE, PIER
 ACCESS &
 BEACH
 ACCESS**

DWG. TITLE
**FLOOR
 PLAN &
 BATHROOM
 ELEVATIONS
 & DETAILS**

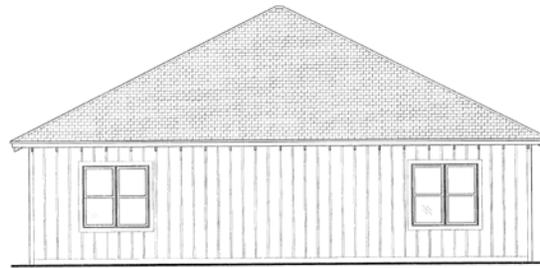
DRAWN BY: _____ CHECKED BY: _____

DATE: **3/31/17** DWG. NO.: **A-3**
 SHEET NO.: **10** OF **20**
 JOB NO.: **9811**

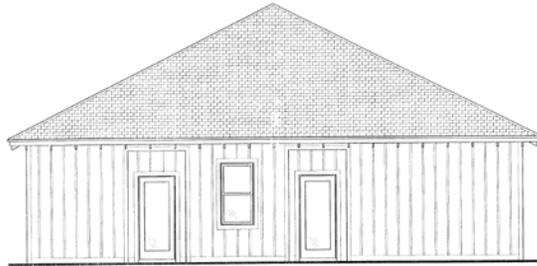
RETAIL STRUCTURE



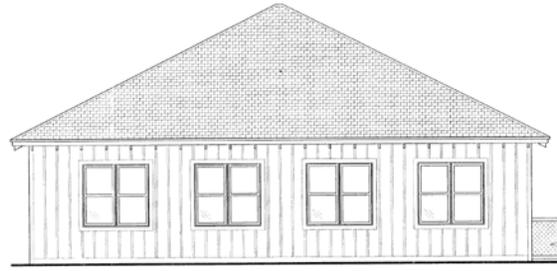
EAST ELEVATION
1/4" = 1'-0"



NORTH ELEVATION
1/4" = 1'-0"

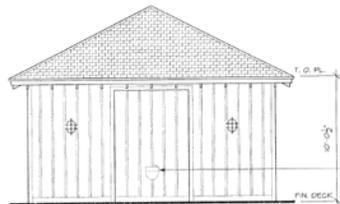


REAR ELEVATION
1/4" = 1'-0"

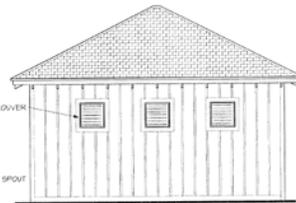


SOUTH ELEVATION
1/4" = 1'-0"

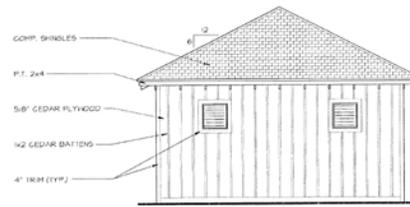
BATHROOM STRUCTURE



FRONT ELEVATION
1/4" = 1'-0"



RIGHT & LEFT ELEVATIONS
1/4" = 1'-0"



REAR ELEVATION
1/4" = 1'-0"

REVIEWED FOR CODE COMPLIANCE

SANTA ROSA COUNTY
SHEET 1 OF 20
ANY VARIATION AND/OR ALTERATIONS TO
THE PLANS MUST HAVE PRIOR APPROVAL



PRESCOTT ARCHITECTS
P.O. BOX 0178
DESIGN, FL 32041
904-837-8894

REVISIONS	

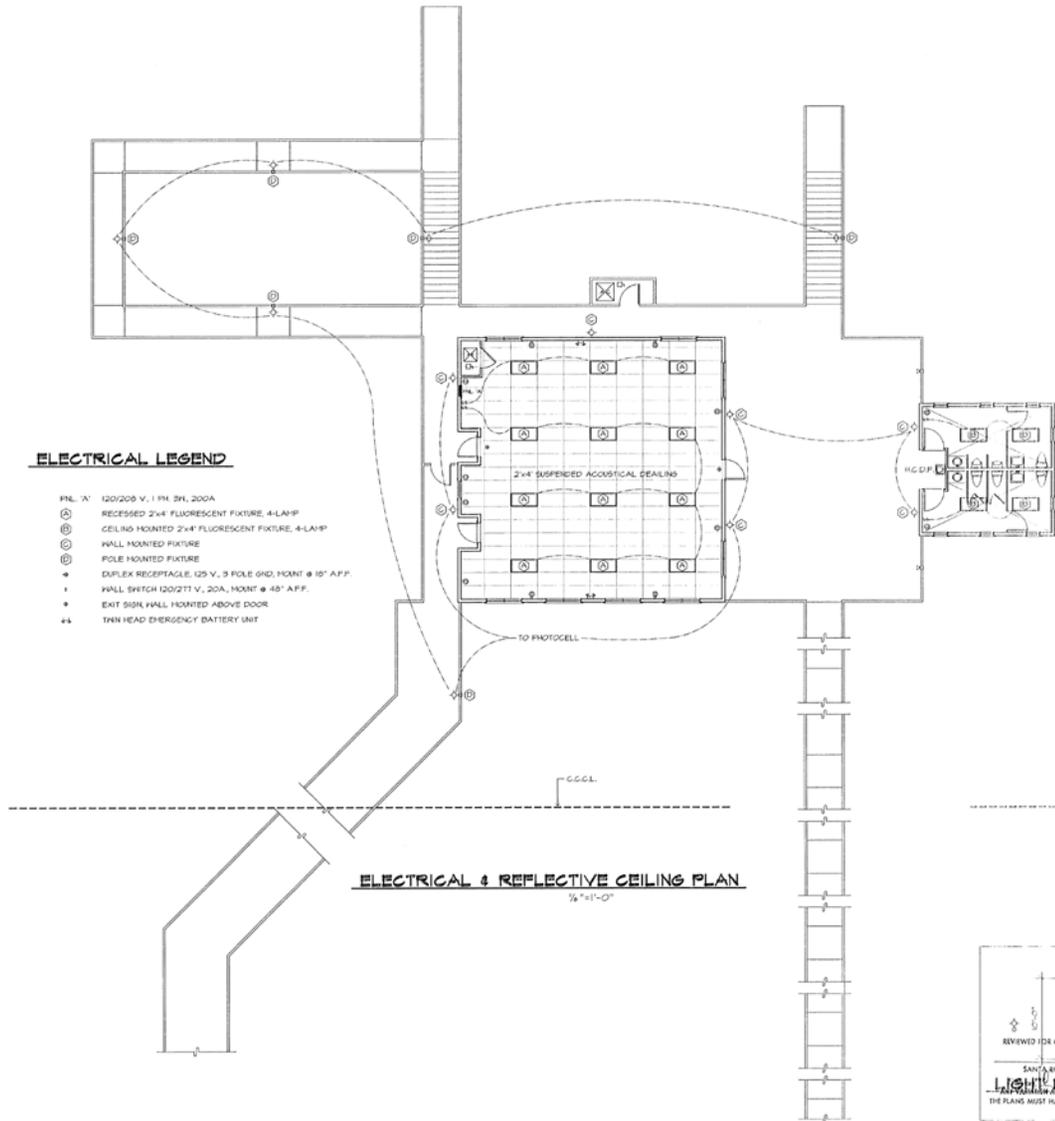
PROJECT NAME
**NAVARRE FISHING PIER
STORE, PIER
ACCESS &
BEACH
ACCESS**

DWG. TITLE
**EXTERIOR
ELEVATIONS**

DRAWN BY CHECKED BY

DATE DWG. No.
JAN 11 A-4
JOB No. 9811

\p\working\server\data\server\projects\ARCHITECTS\Navarre Fishing Pier\0300.dwg, Tue, Aug 30, 2011, 10:47:22AM, Printed by jordan



ELECTRICAL LEGEND

- REL. W' 120/208 V. 1 PH. 3PH. 200A
- ⊖ RECESSED 2x4 FLUORESCENT FIXTURE, 4-LAMP
- ⊕ CEILING MOUNTED 2x4 FLUORESCENT FIXTURE, 4-LAMP
- ⊙ WALL MOUNTED FIXTURE
- ⊗ POLE MOUNTED FIXTURE
- ⊕ DUPLEX RECEPTACLE, 125 V., 3 POLE GND, MOUNT @ 48" A.F.F.
- ⊖ WALL SWITCH 120/277 V., 20A, MOUNT @ 48" A.F.F.
- ⊕ EXIT SIGN, HALL MOUNTED ABOVE DOOR
- ⊕⊕ TWIN HEAD EMERGENCY BATTERY UNIT

ELECTRICAL & REFLECTIVE CEILING PLAN
 1/8" = 1'-0"



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REVISIONS	

PROJECT NAME
NAVARRE FISHING PIER STORE, PIER ACCESS & BEACH ACCESS

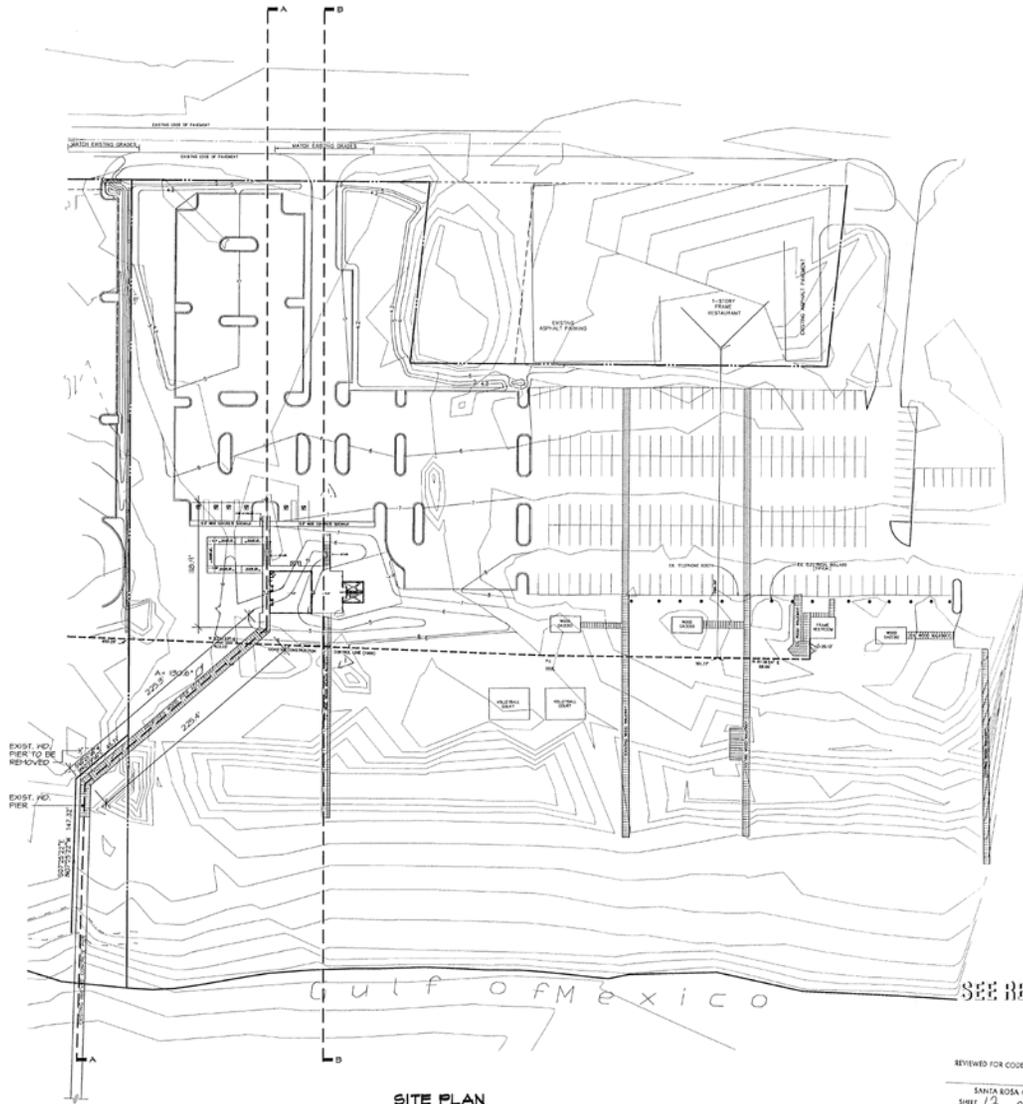
DWG. TITLE
ELECTRICAL & REFLECTIVE CEILING PLAN



DRAWN BY _____ CHECKED BY _____

DATE: 3/11/11 DWG No. A-7
 JOB No. 0811

\\p0w003\server\cag\server\Prescott\Architects\Navarre Fishing Pier\1318.dwg PLOT: 1318.dwg 3/31/99 10:52:00 AM



SITE PLAN
1"=50'

REVIEWED FOR CODE COMPLIANCE
SANTA ROSA COUNTY
SHEET 12 OF 20
ANY VARIATIONS MUST BE REFERENCED TO THE PLANS MUST HAVE PRIOR APPROVAL.

SEE REVISIONS



PRESCOTT ARCHITECTS
P.O. BOX 6170
DESTIN, FL 32841
850-837-8494

THIS IS A PRELIMINARY PLAN AND NOT A CONTRACT. THE CLIENT AND ARCHITECT ASSUME RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED BY THE ARCHITECT.

NEW PARKING: 111 SPACES
(6 DISABLED)

REVISIONS	
6-8-99	REV. 1

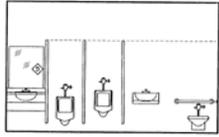
PROJECT NAME
NAVARRE FISHING PIER STORE, PIER ACCESS & BEACH ACCESS

DWG. TITLE
SITE PLAN

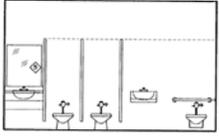
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DATE: 3/31/99 DWG. NO.: A-0
JOB NO.: 0011

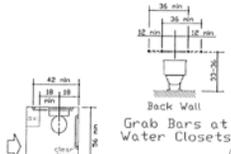
PLAN AND SECTION REVISIONS



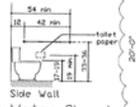
MEN'S BATHROOM ELEVATION
1/4"=1'-0"



WOMEN'S BATHROOM ELEVATION
1/4"=1'-0"

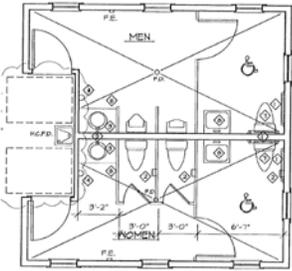


Clear Floor Space at Water Closet

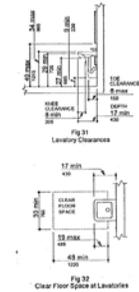


Grab Bars at Water Closets

HC WATER CLOSET DETAILS



BATHROOM FLOOR PLAN
1/4"=1'-0"

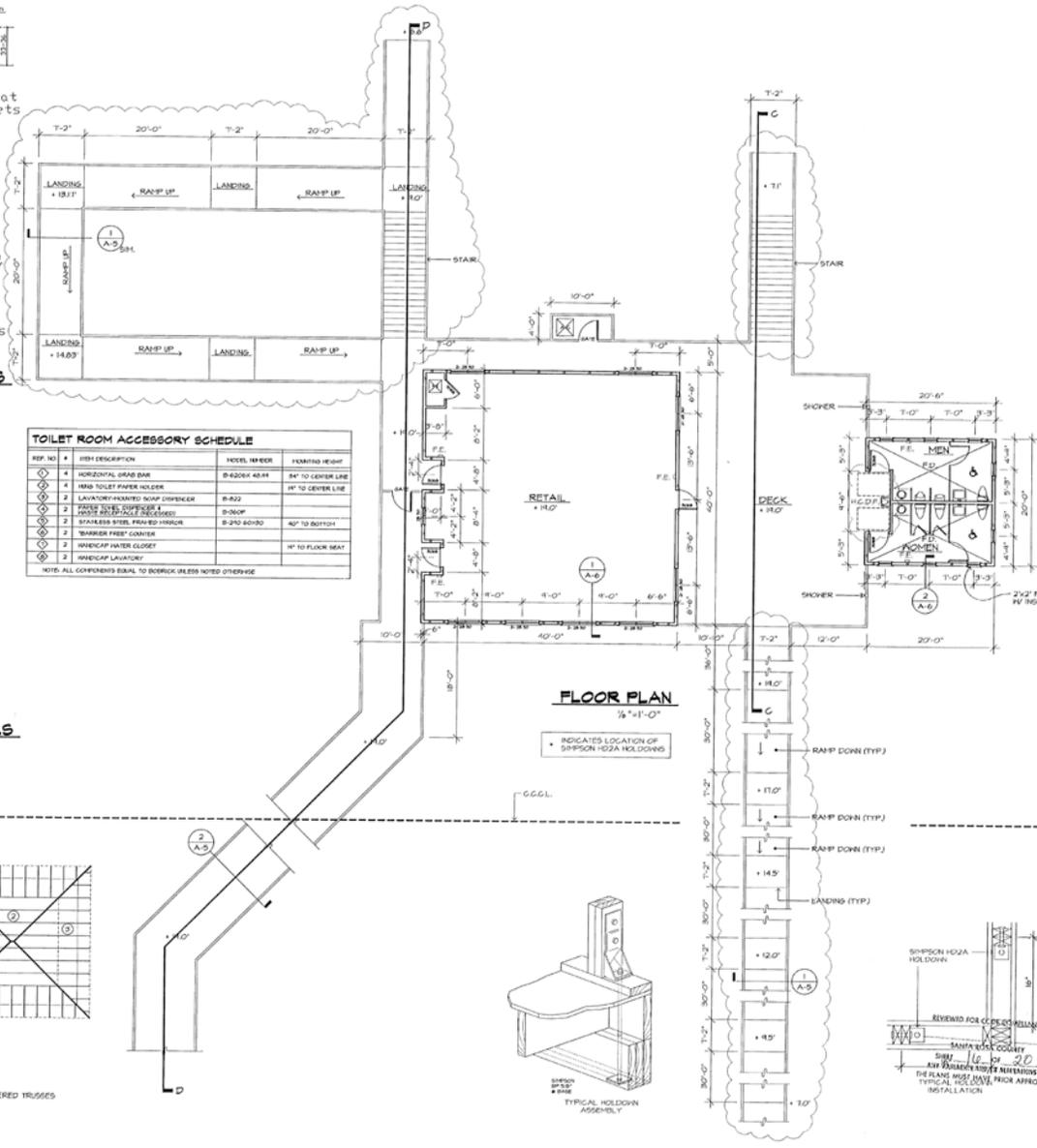


HC LAVATORY DETAILS

TOILET ROOM ACCESSORY SCHEDULE

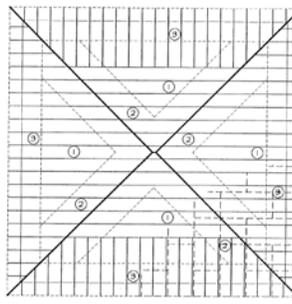
REF. NO.	QTY	ITEM DESCRIPTION	MODEL NUMBER	FINISHED HEIGHT
1	4	HORIZONTAL GRAB BAR	0-4205X 40X4	84" TO CENTER LINE
2	4	WHD TOILET PAPER HOLDER		18" TO CENTER LINE
3	2	LAWN/MOWER/WEEDER SOAP DISPENSER	0-8427	3'-0"UP
4	2	PAVED STEEL COMPRESSOR LINE	0-200P	
5	2	STAINLESS STEEL FINISHED HOOKS	0-210 60X30	40" TO BOTTOM
6	2	WARRANTY PAPER COUNTER		18" TO FLOOR SEAT
7	2	WRENCHUP PAPER CLOSET		
8	2	WRENCHUP LAVATORY		

NOTE: ALL COMPONENTS EQUAL TO BORROW UNLESS NOTED OTHERWISE

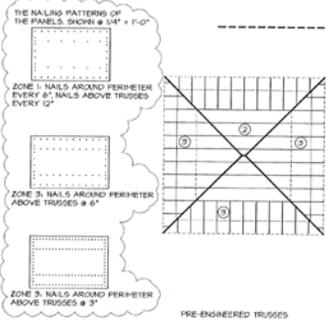


FLOOR PLAN
1/8"=1'-0"

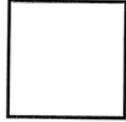
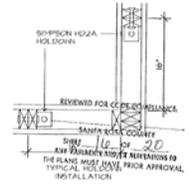
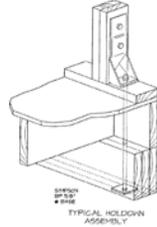
INDICATES LOCATION OF SIMPSON HOZZA HOLDINGS



ROOF FRAMING PLAN
1/8"=1'-0"



THE NAILING PATTERNS OF THE PANELS SHOWN @ 1/4" x 1'-0"



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REVISIONS

NO.	DATE	DESCRIPTION
1	8/11	REV. 1

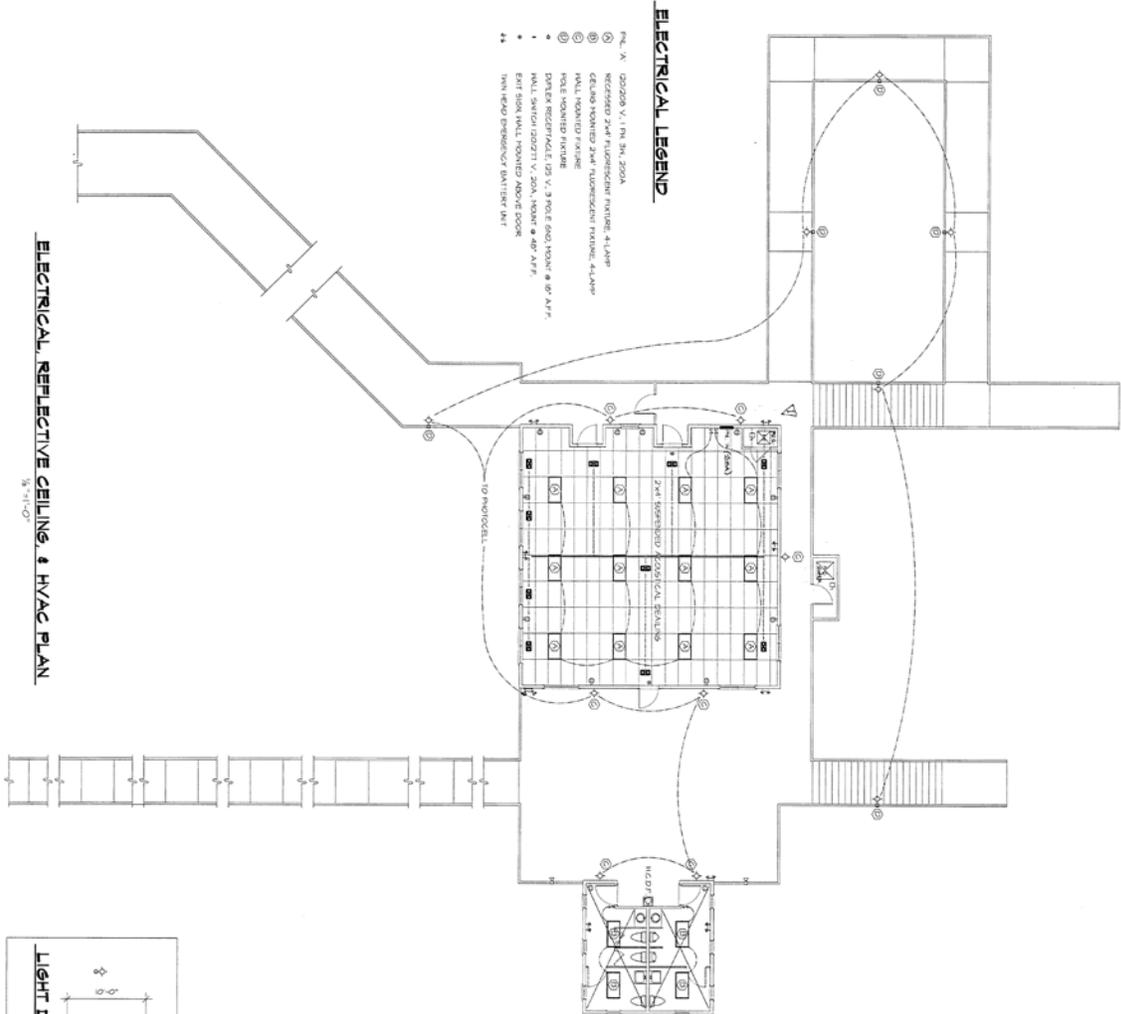
PROJECT NAME
NAVARRE FISHING PIER STORE, PIER ACCESS & BEACH ACCESS

DWG. TITLE
FLOOR PLAN & BATHROOM ELEVATIONS & DETAILS

DRAWN BY / **CHECKED BY**

DATE 3/31/99 / **DWG. No.** A-3
JOB No. 9811

V:\working server\log server\prescott_architects\Navarre Fishing Pier\Plans.dwg Tue Jul 08 08:05:34 1999 Plotted by jason



ELECTRICAL LEGEND

- ⊙ 1. 120/208 V, 1 IN. 3IN. 200A
- ⊙ 2. RECESSED 2'x4' FLUORESCENT FIXTURE 4-LAMP
- ⊙ 3. CEILING MOUNTED 2'x4' FLUORESCENT FIXTURE 4-LAMP
- ⊙ 4. WALL MOUNTED FIXTURE
- ⊙ 5. POLE MOUNTED FIXTURE
- ⊙ 6. DIMMER RECEPTACLE 120 V, 3 POLE 60A/100A @ 80' A.F.F.
- ⊙ 7. WALL SWITCH 120/277 V, 200A, MOUNT @ 48" A.F.F.
- ⊙ 8. EXIT SIGN WALL MOUNTED ABOVE DOOR
- ⊙ 9. 1/2" IN. HEAD PRESHOWER/OUTLET AIR INT.

ELECTRICAL REFLECTIVE CEILING & HVAC PLAN
1/8" = 1'-0"



REMOVED FOR CODE COMPLIANCE
 300A 120A COUNT
 120V 200A COUNT
 120V 200A COUNT
 THE ABOVE MUST HAVE BEEN APPROVAL

DATE	3/21/99	DESIGN NO.	A-7
DESIGN NO.	38111		

DESIGN BY	CHASCO B
-----------	----------

PROJECT TITLE	ELECTRICAL & REFLECTIVE CEILING PLAN
---------------	--------------------------------------

PROJECT NAME	NAVARRE FISHING PIER ACCESS & BEACH ACCESS
--------------	--

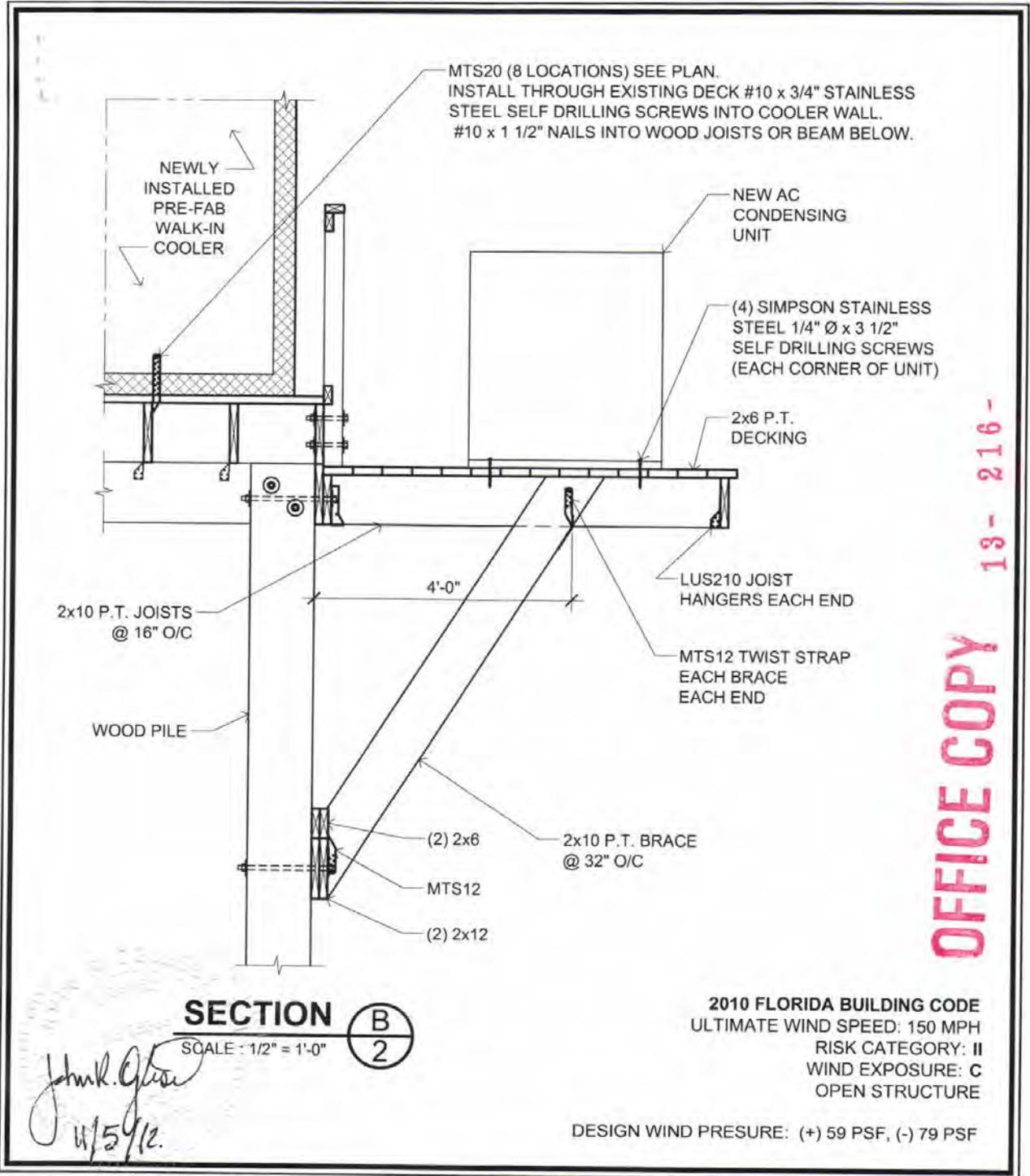
REVISIONS	7/23/99	750/L
	8-77	

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PP
 PRESSCOTT ARCHITECTS
 P.O. BOX 9120
 DORSET, VT 05834

ARCHITECTURAL TITLE

Deck Addition

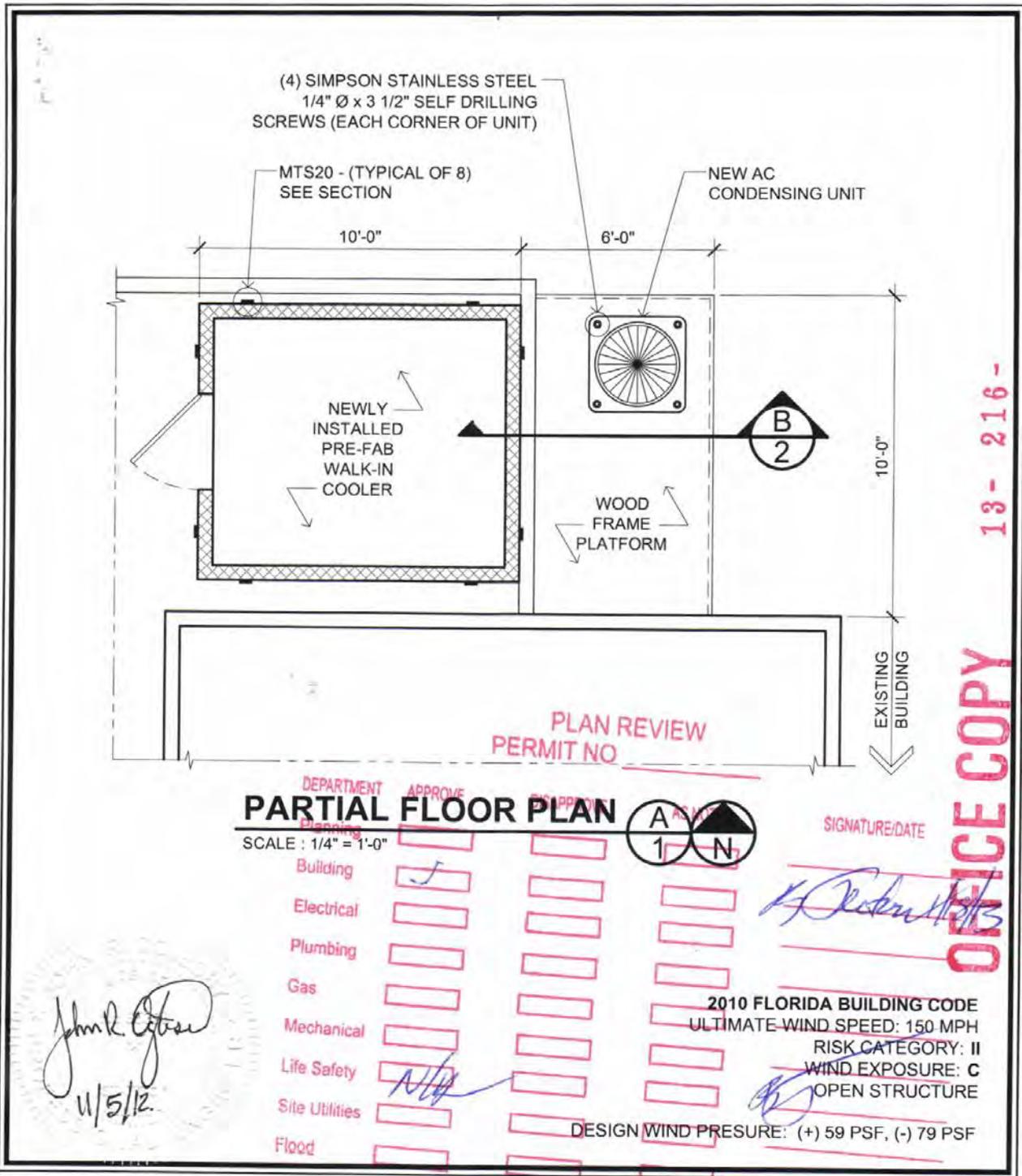


OFFICE COPY 13- 216-

JOHN R. OGLESBY, P.E.
CONSULTING ENGINEER
715 E. Gadsden St.
Pensacola, Florida
Phone: (850) 435-1165
P.E. #65396

MISCELLANEOUS MECHANICAL TIE-DOWN - NAVARRE PIER
NAVARRE BEACH, FLORIDA

PROJECT #: 2012-XX	DATE: OCTOBER 08, 2012
DRAWN BY: FBCS	SHEET: 2 OF 2



13-216-

OFFICE COPY

PARTIAL FLOOR PLAN

SCALE: 1/4" = 1'-0"

DEPARTMENT	APPROVE	DATE
Building	<i>J</i>	
Electrical		
Plumbing		
Gas		
Mechanical		
Life Safety	<i>N/A</i>	
Site Utilities		
Flood		



SIGNATURE/DATE

[Signature]

2010 FLORIDA BUILDING CODE
 ULTIMATE WIND SPEED: 150 MPH
 RISK CATEGORY: II
 WIND EXPOSURE: C
 OPEN STRUCTURE

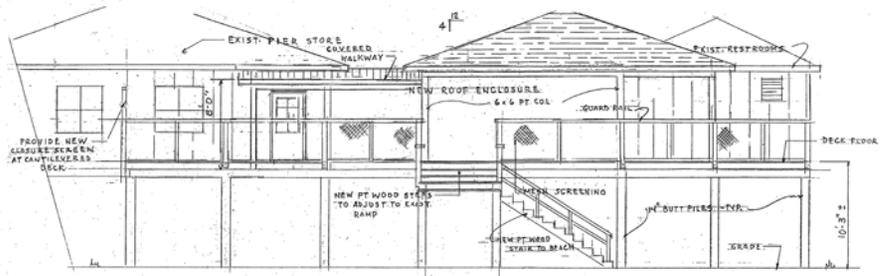
DESIGN WIND PRESURE: (+) 59 PSF, (-) 79 PSF

JOHN R. OGLESBY, P.E.
 CONSULTING ENGINEER
 715 E. Gadsden St.
 Pensacola, Florida
 Phone: (850) 435-1165
 P.E. #65396

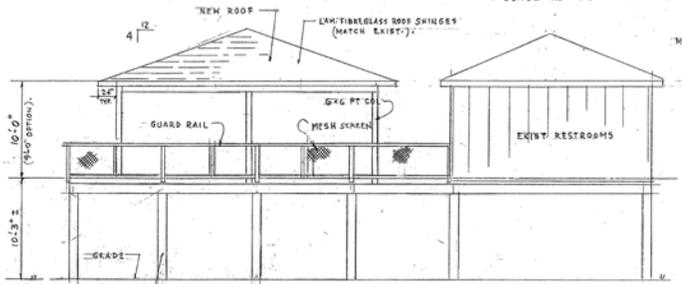
MISCELLANEOUS MECHANICAL TIE-DOWN - NAVARRE PIER
 NAVARRE BEACH, FLORIDA

PROJECT #: 2012-XX	DATE: OCTOBER 08, 2012
DRAWN BY: FBCS	SHEET: 1 OF 2

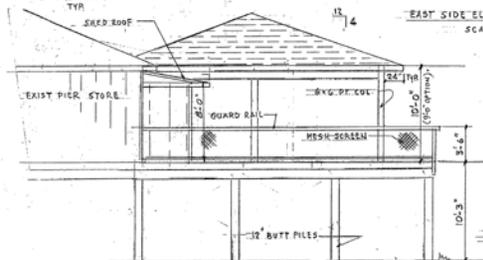
Deck addition
with
Cabana



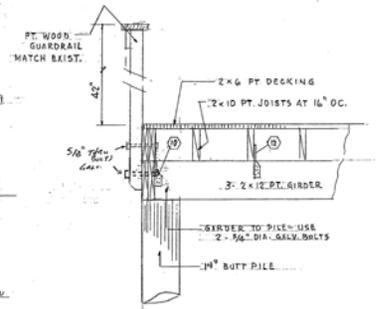
FRONT ELEVATION
SCALE 3/16" = 1'-0"



EAST SIDE ELEVATION
SCALE 3/16" = 1'-0"



WEST SIDE ELEVATION



TYPICAL SECTION THRU EXTERIOR PILE LINE
SCALE 3/4" = 1'-0"

NEW DECK ADDITION FOR NAVARRE BEACH PIER			
SCALE	3/16, 3/8"	DATE	11-11-10
DATE	11-11-10	DESIGNED BY	JK
ELEVATIONS			
10-11-01-3			

MICHAEL NEWELL, PE
FL REG. NO. 41128
Gulf Coast Engineering
COMMERCIAL AND RESIDENTIAL
C.A. 7066
P.O. Box 4915
Pensacola, Florida 32549
850-880-0889



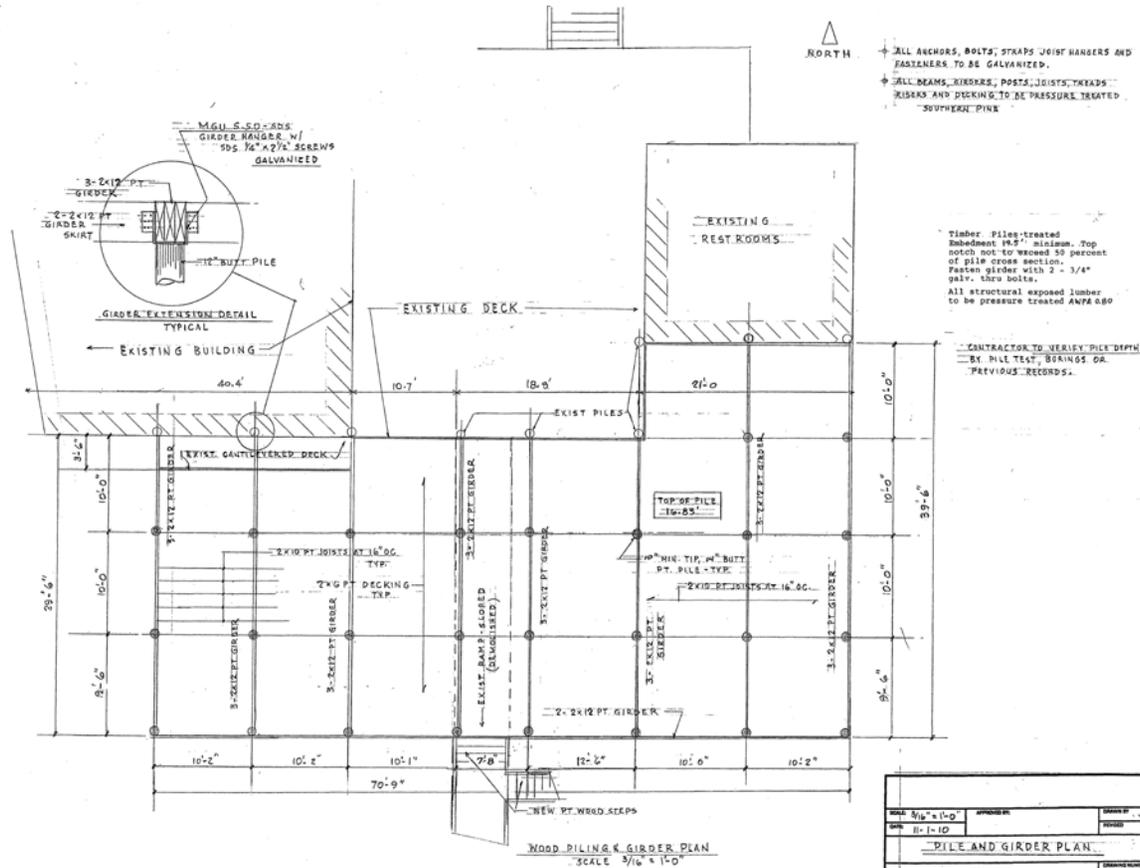
NO.	DWG.	ISSUE	DATE
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NAVARRE DECK

CONTRACTOR
DRAWING DESCRIPTION
JOB #:
DRAWN BY:
CHECKED BY: EA & MN
DATE:
SCALE: NONE
DRAWING NUMBER

A-3





- ▲ NORTH
- ✦ ALL ANCHORS, BOLTS, STRAPS JOIST HANGERS AND FASTENERS TO BE GALVANIZED.
 - ✦ ALL BEAMS, KICKERS, POSTS, JOISTS, THREADS, RISERS AND PICKING TO BE PRESSURE TREATED "SOUTHERN PINE"

Timber Piles-treated Embedment 18" minimum. Top notch not to exceed 50 percent of pile cross section. Fasten girders with 2 - 3/4" galv. thru bolts. All structural exposed lumber to be pressure treated ANFA 680

CONTRACTOR TO VERIFY PILE DEPTH BY PILE TEST BORINGS OR PREVIOUS RECORDS.

WOOD PILING & GIRDER PLAN
SCALE 3/16" = 1'-0"

DATE: 11-1-10	DESIGNED BY: J.K.
PILE AND GIRDER PLAN	
DRAWING NUMBER: 10-1101-2	

BUILDING INSPECTIONS
PROFESSIONAL SEAL
5022

MICHAEL NEWELL, PE
ELIOT ALLEN, PE
FL REG. NO. 4128
FL REG. NO. 4127
Gulf Coast Engineering
COMMERCIAL AND RESIDENTIAL
CA. 7066
P.O. Box 4915
Fort Walton Beach, Florida 32549
850-550-0028

ENGINEER'S SEAL
Michael Newell
11/1/10

NO.	DATE	ISSUE

NAVARRE DECK

CONTRACTOR: _____
DRAWING DESCRIPTION: _____
JOB #: _____
DRAWN BY: _____
CHECKED BY: EA & MN
DATE: _____
SCALE: NONE
DRAWING NUMBER: _____

A-2

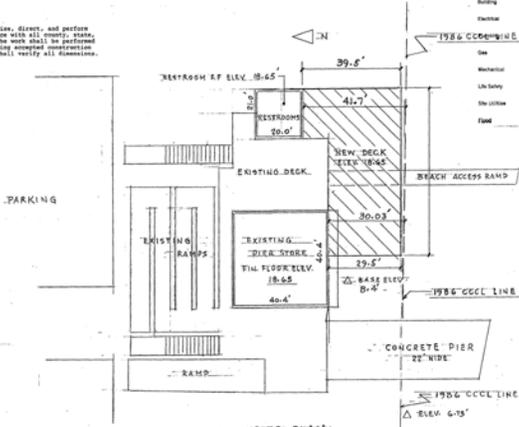
THE SPECIFIC PURPOSE SURVEY DATED 6-9-2010
 PREPARED BY GUSTIN, COTHRAN & TUCKER, INC.
 WAS USED AS A REFERENCE FOR THIS PROJECT.

The Contractor shall supervise, direct, and perform the work in strict accordance with all county, state, and local building codes. The work shall be performed in a workmanlike manner, using accepted construction practices. The Contractor shall verify all dimensions.

PLAN REVIEW
 PERMIT NO.

DEPARTMENT	APPROVE	DISAPPROVE	AS NOTED	REMARKS
Planning	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Building	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See Attachment
Fire	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See Attachment
Health	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See Attachment
Public Works	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See Attachment
Police	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See Attachment
Public Safety	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See Attachment
Public Utilities	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See Attachment
Transportation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See Attachment
Water	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See Attachment
Waste	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See Attachment
Other	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See Attachment

AS NOTED BELOW
 See Attachment
 Structural Engineer
 Requirements

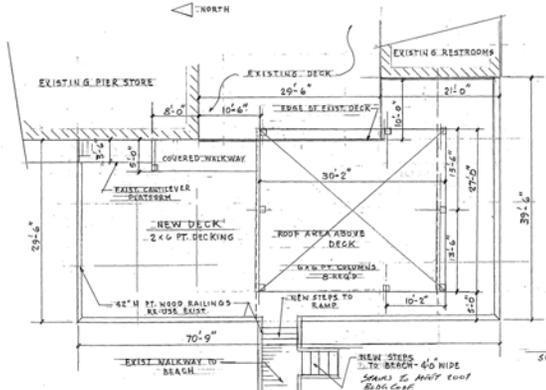


SITE PLAN
 SCALE 1" = 20'

WIND LOAD CRITERIA

Basic Wind Speed	140 MPH 3 Sec. Gust.
Building Category	II
Wind Exposure	C
Wind Importance Factor	(1)

The plans for this construction are in compliance with the requirements of the 2007 Florida Building Code.



PLAN
 SCALE 1/8" = 1'-0"

NEW DECK ADDITION TO NAVARRE BEACH PIER.	
DATE AS NOTED	DATE
DATE	DATE
FLOOR PLAN - SITE PLAN	
PIER, INC., 8879 GULF BLVD. NAVARRE BEACH, SANTA ROSA CO. FL 32550-1101-1	

BUILDING INSPECTIONS
 2010 5022

RELIOT ALLEN, PE
 FL REG. NO. 4207

MICHAEL NEWELL, PE
 FL REG. NO. 4128

Gulf Coast Engineering
 COMMERCIAL AND RESIDENTIAL
 C.A. 7066

OFFICE COPY

NO. DWG. ISSUE DATE

NAVARE DECK
 OFFICE COPY
 2010-5022

CONTRACT NO.

DRAWING DESCRIPTION

JOB #:

DRAWN BY:

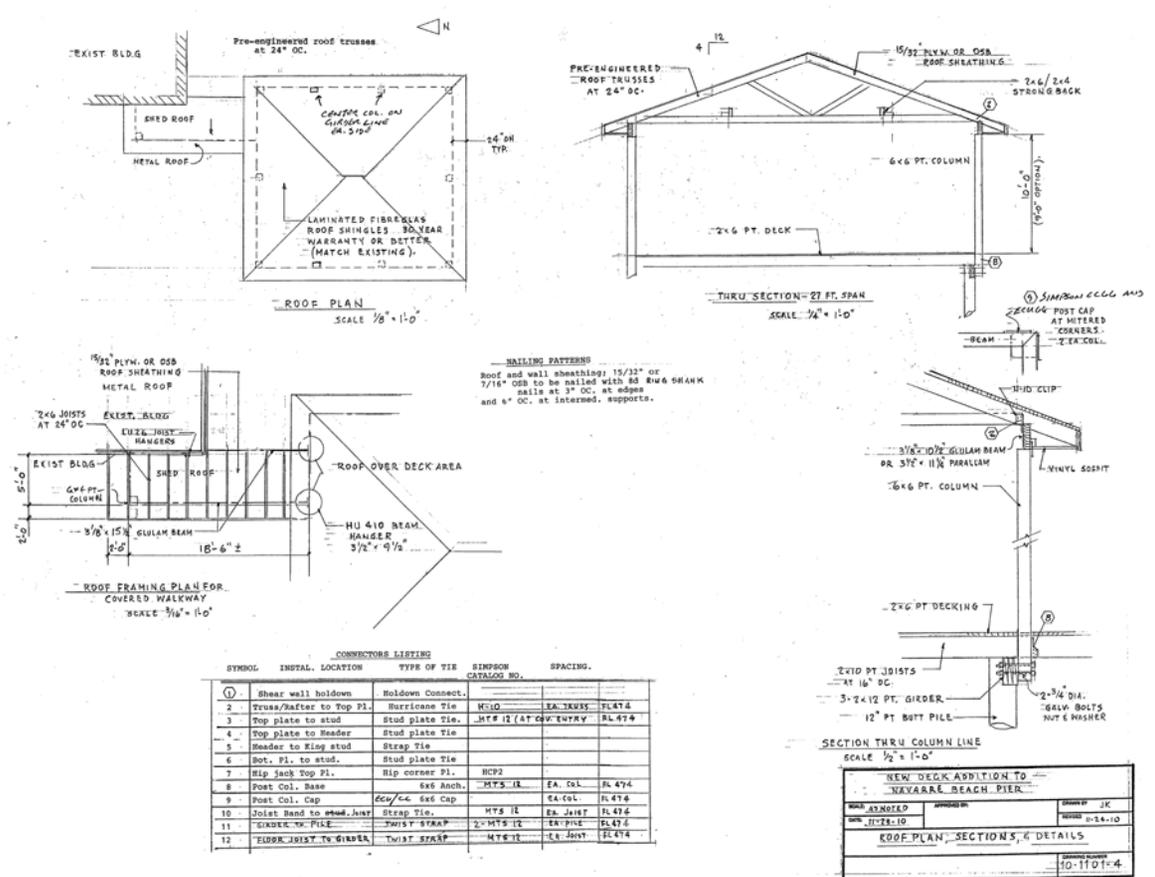
CHECKED BY: EA & WN

DATE:

SCALE: NONE

DRAWING NUMBER

A-1



CONNECTORS LISTING

SYMBOL	INITIAL LOCATION	TYPE OF TIE	SIMPSON CATALOG NO.	SPACING
1	Shear wall holdown	Holdown Connect.		
2	Truss/Wafer to Top Pl.	Hurricane Tie	HTD	EA. 3X3X5 FL474
3	Top plate to stud	Stud plate Tie	MPS 12 / AT CHG. ENTRY	FL 474
4	Top plate to Header	Stud plate Tie		
5	Header to Ring stud	Strap Tie		
6	Bot. Pl. to stud.	Stud plate Tie		
7	Wp. Jack Top Pl.	Rip corner Pl.	HC92	
8	Post Col. Base	Ext Anch.	MYS 1L	EA. 5x8 FL 474
9	Post Col. Cap	CCO/CC Ext Cap		EA. Col. FL 474
10	Joist Band to stud./wp.	Strap Tie	MYS 1L	EA. 5x8 FL 474
11	GIRDER W. PILE	Worst STRAP	2" MYS 1L	EA. 5x8 FL 474
12	DECK JOIST TO GIRDER	Twist STRAP	MYS 1L	EA. 5x8 FL 474

NEW DECK ADDITION TO NAVARRE BEACH PIER

DATE: 11-28-10	APPROVED:	DATE: 01-14-10
ROOF PLAN, SECTIONS 5, 4 DETAILS		
10-1101-4		

MICHAEL NEWELL, PE
 FL REG. NO. 4128
Gulf Coast Engineering
 COMMERCIAL AND RESIDENTIAL
 C.A. 7066
 P.O. Box 4815
 Fort Worth Beach, Florida 32549
 850-555-0898

[Signature]
11-28-10

ENGINEER'S SEAL

NO. DWG. ISSUE DATE

NAVARE DECK

CONTRACTOR:

DRAWING DESCRIPTION:

JOB #:

DRAWN BY:

CHECKED BY: EA & MN

DATE:

SCALE: NONE

DRAWING NUMBER

A-4

BUILDING INSPECTIONS
 PROJECT 2010 502

TC's Coastal Porch
Proposal Received
November 2013 (page 12)

PROPOSAL

Operator / Management - Navarre Beach Pier

TERMS OF CONTRACT

In addition to the terms set forth by the County in the RFP, we offer the following terms:

1. Santa Rosa County will retain 100% of the revenue collected from pier admissions.
2. Santa Rosa County will receive 3.1% of all revenue from TC's Coastal Porch (including food, beverage, merchandise, and rental income).
3. TC's Coastal Porch will donate a minimum of \$1,500 annually to a scholarship fund that will assist graduating seniors from Santa Rosa County high schools.
4. TC's Coastal Porch will pay for all utilities.
5. TC's Coastal Porch will be responsible for cleaning and maintaining the pier on a daily basis.

PROJECTED PIER FINACIALS

	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>2017 (opt.)</u>	<u>2018 (opt.)</u>	<u>Total</u>
Restaurant Sales	\$ 1,200,000	\$ 1,380,000	\$ 1,449,000	\$ 1,521,450	\$ 1,597,523	\$ 7,147,973
Merchandise Sales	\$ 240,000	\$ 276,000	\$ 289,800	\$ 304,290	\$ 319,505	\$ 1,429,595
Rentals	\$ 160,000	\$ 184,000	\$ 193,200	\$ 202,860	\$ 213,003	\$ 953,063
Concessions	\$ 20,000	\$ 23,000	\$ 24,150	\$ 25,358	\$ 26,625	\$ 119,133
	\$ 1,620,000	\$ 1,863,000	\$ 1,956,150	\$ 2,053,958	\$ 2,156,655	\$ 9,649,763
Management Fee to County	\$ 50,220	\$ 57,753	\$ 60,641	\$ 63,673	\$ 66,856	\$ 299,143
Estimated Gate Fees to County	\$ 290,000	\$ 333,500	\$ 350,175	\$ 367,684	\$ 386,068	\$ 1,727,427
Total Money to County	\$ 340,220	\$ 391,253	\$ 410,816	\$ 431,356	\$ 452,924	\$ 2,026,569

We estimate the County would receive more than 2 million dollars in revenue over the five years of the contract. In addition, TC's Coastal Porch will be paying 100% of all utility bills. The County will not have any material cost associated with this contract. We will pay all cost associated with this contract including payroll, materials, insurance, utilities, and/or any proposed renovations or improvements.

TC's COASTAL PORCH

33 Hoffman Drive, Gulf Breeze, Florida 32061
850.255.7459

Contract

December 2013

**STATE OF FLORIDA
COUNTY OF SANTA ROSA**

**AGREEMENT FOR OPERATION AND MANAGEMENT
OF NAVARRE BEACH GULF PIER AND CONCESSION**

THIS AGREEMENT FOR OPERATION AND MANAGEMENT OF NAVARRE BEACH GULF PIER AND CONCESSION, hereinafter called the "contract", is effective as of January 1, 2014, ("Effective Date"), between SANTA ROSA COUNTY, whose address is 6495 Caroline Street, Milton, Florida 32570, (hereinafter the "County") and TC'S COASTAL PIER, LLC, a Florida limited liability company, whose address is 33 Hoffman Drive, Gulf Breeze, Florida 32561, (hereinafter the "Contractor").

SECTION I - PREMISES

County hereby contracts with Contractor for management of the Navarre Beach Gulf Pier and other amenities on the following property located on Santa Rosa Island, Santa Rosa County, Florida, to-wit the "Premises".

See attached Exhibit "A"

SECTION II - TERM OF CONTRACT

This contract shall extend for a period of three (3) years beginning with the Effective Date. This contract may be extended upon the agreement of both parties for up to two (2) additional one (1) year terms. All terms, provisions and conditions of any renewed contract, other than the term of years shall be subject to negotiation and change.

SECTION III - USE OF PROPERTY

A. The above described property is made available to Contractor through this contract solely for Contractor to provide management of the Navarre Beach Gulf Pier and Premises, as follows:

1. Management of the Navarre Beach Gulf Pier. Contractor shall ensure that the Navarre Beach Gulf Pier (hereinafter "the Pier") is available for walking, fishing and similar recreation. Therefore, Contractor agrees:
 - a. To provide onsite management and maintenance of the Navarre Beach Gulf Pier and to insure that all services are provided in a professional and courteous manner;
 - b. To insure that all possible measures are taken to safeguard the health and well being of patrons of the pier and concession;
 - c. To insure adherence to all applicable regulatory requirements.
2. Operation of Pier Store/Concessions. The area depicted in Exhibit "B" shall be operated as a pier store and concession area in which Contractor shall engage in the

sale of food, snacks, bait, beverages, souvenirs and gifts, sundries, T-shirts, and appropriate fishing equipment. In so providing, Contractor agrees:

- a. To provide a quality bait, tackle, and rental fishing equipment concession available to the public during all pier operating hours;
 - b. To provide and maintain a quality food concession; and
 - c. To provide and maintain clean, quality public restrooms.
 - d. In addition to the above, Contractor may, but shall not be obligated to, provide rental of kayaks, surfboards, paddleboards, snorkel equipment, bicycles and similar items. With each such rental, patrons shall receive proper safety equipment and information regarding areas of the beach on which any of them items is not permitted.
3. Operation of Pier Restaurant. Contractor is desirous of operating a restaurant on the premises. Contractor shall establish a restaurant in the area depicted as Exhibit "C," provided that in no way shall public access to the pier, pier store, or restrooms be inhibited by the restaurant. In so establishing the restaurant, the parties agree:
- a. Contractor shall obtain approval from County in advance of the plans and specifications of the restaurant;
 - b. Restaurant shall serve lunch and dinner, seven-days per week. Serving breakfast shall be optional.
 - c. Contractor's restaurant hours may not be more expansive than the hours established by the County for the pier, though the restaurant is not required to be open for the entirety of the hours of pier operation (provided 3.b., above is complied with).
 - d. The restaurant shall be closed when the pier is closed, unless otherwise approved by the County.
4. For all portions of the Premises, Contractor shall:
- a. Provide a high level of supervision, safety and maintenance of the pier which will ensure that the pier can be enjoyed equally and safely by all members of the public;
 - b. Provide for quality family-oriented use of the pier as a multi-recreational facility.
 - c. Contractor will pay all utility costs associated with all parts of the premises.
 - d. Contractor will provide daily trash collection around and from the premises, including regular removal of refuse from the adjacent parking lot. Contractor shall pay for and maintain a dumpster in the adjacent parking lot for the disposal of refuse.
 - e. Contractor will be responsible for the cleanliness and safety on the premises and shall not permit refuse to accumulate on any portion thereof. Contractor shall maintain the premise in a neat and attractive manner.
 - f. Contractor will be responsible for the patrons to adhere to all pier rules established by Santa Rosa County.

- g. Contractor will be responsible for hosing the pier daily or as needed and shall provide all paper products, trash bags and cleaning supplies necessary for the performance of the duties outlined herein.

B. The Contractor further agrees to comply with the State of Florida Sovereignty Submerged Land Lease (No. 570001181) covering the Premises (attached hereto as Exhibit "D") and any amendments thereto.

SECTION IV - CONTRACT FEES

A. Pier admission fees. Contractor hereby agrees to collect pier admission fees and to pay to the County all sale receipts for entry to the Navarre Beach Gulf Pier. Admission fees, including the price and availability of annual, weekly or other special passes, shall be as set by County. Contractor shall not waive, reduce or deviate from the County's set fee schedule. A copy of the fee schedule is attached hereby as Exhibit "E," which schedule may be amended by the County from time to time. These fees are not deemed rental but are revenue of the County collected for County by Contractor.

Contractor shall remit the previous month's admission fees to County on or before the fifteenth (15th) of each month. If not received by the County, at the address designated herein, by the sixteenth (16th) of the month, Contractor shall pay to County a late fee equal to five percent (5%) of the amount due. Failure to remit fees by the thirtieth (30th) of the month shall be deemed as a major and material default under the terms of this lease.

Contractor shall maintain a separate point-of-sale cash register/electronic accounting control equipment, acceptable to County, to account for admissions fees. Admission fees must be readily distinguishable from sales associated with the pier store or restaurant. Any and all costs related to the purchase, programming, installation and maintenance of this equipment shall be the sole responsibility of the Contractor. Cash register tapes must be maintained and made available upon demand during the entire term of the contract. Cash register receipts must be offered to each customer immediately after each transaction and sale. No exceptions may be made by the Contractor for these procedures without the written approval of the County. An accounting for each month must accompany Contractor's monthly remittance to County. Contractor's system shall permit County remote access to review pier admissions in "real time."

B. Percentage of revenue: In addition to pier admissions, Contractor hereby agrees to remit to County three and one-tenth percent (3.1%) of gross revenues received by the pier store and the pier restaurant.

Contractor shall remit the previous month's revenue percentage to County on or before the fifteenth (15th) of each month. If not received by the County, at the address designated herein, by the sixteenth (16th) of the month, Contractor shall pay to County a late fee equal to five percent (5%) of the amount due. Failure to remit revenue percentage by the thirtieth (30th) of the month shall be deemed as a major and material default under the terms of this lease.

Contractor shall maintain a separate point-of-sale cash register/electronic accounting control equipment, acceptable to County, to account for sales/revenue. Admission fees must be readily distinguishable from sales associated with the pier store or restaurant. Any and all costs

related to the purchase, programming, installation and maintenance of this equipment shall be the sole responsibility of the Contractor. Cash register tapes must be maintained and made available upon demand during the entire term of the contract. Cash register receipts must be offered to each customer immediately after each transaction and sale. No exceptions may be made by the Contractor for these procedures without the written approval of the County. An accounting for each month must accompany Contractor's monthly remittance to County.

SECTION V - INSURANCE AND INDEMNITY

All personal property which may be on the Premises during the term of this contract shall be there at the sole risk of Contractor, or those claiming under Contractor, and County shall not be liable to Contractor, or any other persons for property in or upon the Premises. Furthermore, County shall not be liable to Contractor or to Contractor's employees, patrons, licensees, permittees, visitors, successors or assigns, for any damage to property or injury to person caused by the act of negligence of any other user of the facilities. Contractor accepts the Premises as wholly suitable for the purpose for which it is contracted and agrees to hold County harmless from any claims based on the condition or suitability of the Premises.

Additionally, Contractor hereby agrees to defend, indemnify and save harmless County from any and all claims, demands, suits, judgments, costs, liabilities or expenses on account of any loss or injury occurring on the Premises, or on any adjoining public property utilized by Contractor for any special event or activity approved by the County, unless the claim is for injuries or damages caused by the negligence of the County.

Contractor shall purchase and maintain commercial general liability insurance endorsed to provide contractual liability with limits in the amount of not less than \$1,000,000 combined single limits. Santa Rosa County, its agents, and employees shall be listed as an additional insured under the commercial general liability. Contractor shall also maintain separate liquor liability insurance with minimum coverage of \$1,000,000, naming Santa Rosa County as additional insured.

Contractor shall purchase and maintain statutory worker's compensation coverage, including employer's liability, unless not required by law because contractor employs no employees. All such coverages shall be written with insurance companies admitted to do business in Florida. Any policies written with non-admitted insurance companies shall be subject to specific approval by the County. Insurance certificates shall be provided to the County, and these certificates shall contain a thirty (30) day cancellation clause.

SECTION VI - COMPLIANCE WITH LAWS

Contractor agrees to comply with all laws, ordinances, rules and regulations now in effect or, subject to Contractor's contractual rights set forth in this contract, hereafter enacted by any governmental body having jurisdiction over the Premises, and Contractor shall not make or allow to be made any unlawful, improper or offensive use of the Premises and shall keep the Premises in a clean, attractive and safe condition. Contractor further agrees to exercise all reasonable safety measures in the operation of its businesses for the protection of the public.

SECTION VII - MAINTENANCE OF REQUIRED LICENSES

Contractor shall obtain all licenses required by all governmental authorities having jurisdiction over the Premises for the type of business operated by Contractor and shall maintain all required licenses during the term of this contract.

SECTION VIII - TAXES AND ASSESSMENTS

Contractor shall pay and discharge all future taxes, sales taxes, use taxes, assessments, duties, impositions and burdens assessed, charged or imposed upon the Premises. In addition, upon notice from County, Contractor agrees to assume County's defense and indemnify County for any claim related to all existing and future taxes, sales taxes, use taxes, assessments, duties, impositions, and burdens assessed, charged or imposed upon the Premises, which relate to Contractor's tenure as pier manager.

SECTION IX - COUNTY'S ACCESS

The County and its designated agents, shall at all reasonable times have access to the Premises for the purpose of inspecting and determining whether Contractor has complied with its obligations pursuant to this contract.

SECTION X - PROHIBITED USES

Contractor covenants and agrees not to use or occupy the Premises for any purpose other than herein specified, or permit the same or any part thereof to be used or occupied for any purpose or business other than herein specified, without the prior written consent of the County.

SECTION XI - OPERATION AND CONDUCT OF BUSINESS

Contractor covenants and agrees as follows:

- A. To comply with all laws and regulations relating to the operation of any business, and to any property used in connection therewith, on the Premises and to operate said business in a first class manner consistent with the public purpose to be served by the County and in the best interest of the public.
- B. Not to knowingly permit or suffer any nuisance or illegal operations or course of conduct of any kind on the Premises.
- C. The County shall have the right to audit all records, documents, and books pertaining to pier admission fees at any time. Such audit will be conducted at locations and at a frequency determined by the County and/or the County and communicated to the Contractor. The Contractor agrees to provide any requested materials for the audit at the designated place within five (5) days after the County notice is received. Books of original entry and source documents shall be retained for a period of not less than three (3) years.

- D. The Contractor agrees to cooperate with the County in conducting surveys, providing reports of visitor contacts and responding to County inquiries about public usage of the concession or facility services.
- E. The Contractor agrees the premises shall be open and adequately staffed seven (7) days per week. Contractor may request changes to the hours, including holiday closures and hours, of the County. The County shall establish the hours during which the premises shall be open, which hours may be amended from time to time at the sole discretion of County. The operational hours in effect upon the effective date of this agreement are attached hereto as Exhibit "F." If Contractor develops a restaurant on the premises, it may establish the operational hours of the restaurant, provided those hours are not earlier in the day nor later in the evening than those hours established by County.
- F. Within forty-five (45) days of the execution of this agreement, Contractor shall submit to County an annual Business and Operations Plan, subject to the approval of County, which shall not be unreasonably withheld. Contractor shall upon each anniversary of this agreement submit for approval its Business and Operations Plan for the following year. County approval shall not be unreasonably withheld.
- G. Periodic cold weather or rain shall not be considered as sufficient cause to cease business operations at the Navarre Beach Gulf Pier; however Contractor reserves the right to request closure during conditions unsuitable for its use including extended periods of inclement weather and/or dangerous and unsafe conditions. The County's approval of closure in such cases shall not be unreasonably withheld. In addition, the County, through the actions of its County Administrator, reserves the right to close all or any portion of the premises in the event of tropical storm, hurricane or other condition in which the County Administrator, in his sole discretion, deems that closure is in the best interest of the public.
- G. There shall be no discrimination as to race, sex, color, creed, age or national origin in the operations referred to by this contract; and further, there shall be no discrimination regarding any use, service, maintenance, or operation of the Premises.
- H. Contractor shall be permitted to store certain items beneath the pier in an enclosure acceptable to County.
- I. The premises include a sand area (Exhibit "G") on which Contractor may (but shall not be required to) establish no more than two volleyball courts. The area may also be used for activities typically associated with a public beach, such as picnicking, sunbathing, etc. but shall be put to no other uses. Should Contractor desire to light the area, it shall do so in a manner which is in compliance with local and state laws and which is acceptable to County.
- J. County reserves the right to regulate lighting on all portions of the leasehold premises, including requiring removal of lights which may be detrimental to sea- or wildlife or requiring that certain lights remain on for safety.

- K. Contractor acknowledges that the premises exist for the use of the general public and not for private events. As such, no portion of the pier shall be closed for a private event. The restaurant may not be open for private parties or otherwise for hours in excess of those established by County.
- L. Contractor shall make every effort to insure that no fisherperson uses "chum" to attract any shark or other sea life.
- M. Contractor shall not permit amplified sound on the premises between the hours of 10:00 p.m. and 8:00 a.m. Contractor shall take whatever steps are required by County, in County's sole discretion, to insure that noise from the premises does not impact surrounding properties, including but not limited to the elimination of amplified sound or elimination of music.
- N. The use of the premises by private entities or individuals for commercial activities, i.e. exercise or dance classes, etc., shall be prohibited, except for private events in the restaurant as previously outlined herein.
- O. Contractor shall be permitted to use the name "Navarre Pier"/"Navarre Beach Pier" and variations thereof in advertising and social media. However, County reserves the right to approve all content. At the expiration of this contract, all social media accounts, websites and advertising shall be transferred to County.
- P. Registered sex offenders and registered sexual predators are not permitted on the premises. Contactor shall conduct pre-employment background screenings on its employees to ensure that they are not registered sex offenders or registered sexual predators.
- Q. Contractor shall annually provide college scholarships of at least \$1500 to deserving Santa Rosa County students and shall furnish proof of same to County.

**SECTION XII - ENFORCEMENT OF CONTRACT; FORFEITURE;
BREACH; REMEDIES; NONWAIVER; ATTORNEY'S FEE**

A. County may enforce the performance of this contract in any manner provided by law. The following actions or failures on the part of the Contractor shall constitute a breach under the terms of this contract ("Event of Breach"):

1. If Contractor shall desert or vacate the Premises;
2. If breach shall be made by the Contractor in the payment of fees as specified in this contract;
3. If breach shall be made by Contractor in the performance of any of the terms or conditions of this contract that Contractor is to perform;
4. If Contractor shall fail to comply with any of the statutes, ordinances, rules or regulations of any governmental body governing or regulating the Contractor's business;

5. If Contractor shall file a petition in bankruptcy, or make an assignment for the benefit of creditors, or be adjudicated a bankrupt, or take advantage of any insolvency act.

B. Upon the occurrence of an Event of Breach and if Contractor shall not have completely removed or cured the breach within thirty (30) days from the date of County's written notice to Contractor of breach and of County's intention to declare the contract rescinded, this contract shall come to an end as if the date established by notice of rescission were the date originally fixed herein for the expiration of the term of this contract without any further notice from County to Contractor. Additional time to cure any breaches in the contract may be granted by the County for good cause, and such approval will not be unreasonably withheld. County or County's agent or attorney shall thereafter have the right, without further notice or demand to reenter and remove all persons and Contractor's property from the Premises without being deemed guilty of any trespassing.

C. In the event any report or payment in full required under this contract is not submitted on or before the date specified, the Contractor will owe the County \$100 in late reporting fees. In the event full payment of all fees due shall not be made to the County within fifteen (15) days after the date on which such payment becomes due, there shall be a late charge payment of ten percent (10%) of the amount due.

D. The failure of County in anyone or more instances to insist, on the strict performance of any of the terms or conditions of this contract, or to exercise any option set forth in this contract, shall not be construed as a future waiver, or a relinquishment of the provision or option, but it shall continue and remain in full force and effect. The receipt by County of fees, with knowledge of the breach of any term or condition hereof, shall not be deemed a waiver of the breach and no waiver by County of any provision hereof shall be deemed to have been made unless expressed in writing and signed by County.

E. If the County retains attorneys, auditors or others to assist it in the collection of any sums due hereunder, which are not paid on the due date, or to enforce any of the provisions of this contract or to seek its termination, Contractor shall pay reasonable enforcement, collection, attorney's fees, auditor costs, or other costs incurred, whether or not suit is necessary. If a legal action is filed to collect any sums falling due hereunder, to enforce any provisions hereof or to terminate this contract, Contractor shall pay all reasonable costs, expenses and charges incurred in said proceedings, including costs incurred for any appeals.

F. It is expressly agreed and understood that this Section is a material part of this contract and that the County entered into this contract and agreed to the terms and conditions set forth herein, in reliance on its rights set forth in this Section.

SECTION XIII - INDEPENDENT CONTRACTOR

It is acknowledged that at all times the Contractor is performing as an independent Contractor and not as an employee, representative or agent of the County and that neither the Contractor nor its employees are entitled to accrue any benefits of County employment, including retirement benefits and any other rights or privileges connected with employment in the Santa Rosa County Civil Service.

It is understood and agreed that no part, parcel, building, structure, equipment or space is leased to the Contractor, that it is a contractor and not a lessee; and that the Contractor's right to operate the pier and concession shall continue only so long as the pier and concession operations comply with and are in accordance with the terms and conditions of this contract.

SECTION XIV - END OF TERM

Upon the expiration or sooner termination of this contract, Contractor shall be allowed a period of fifteen (15) days in which to remove all personal property, and Contractor shall leave all improvements in as good a state and condition as reasonable use and wear will permit.

SECTION XV - PARAGRAPH HEADINGS

The paragraph headings in this contract are intended for convenience only and shall not be taken into consideration in construction or interpretation of the contract or any of its provisions.

SECTION XVI - ENTIRE CONTRACT

Except as provided below, this instrument constitutes the entire contract between County and Contractor on the subject of this contract, and, except as provided for herein, all prior or contemporaneous oral or written agreements or representations of any nature with reference to the subject matter of this contract are canceled and superseded by the provisions of this contract.

SECTION XVII - WAIVER

Failure on the part of County to complain of any action or nonaction on the part of Contractor, no matter how long it may continue shall never be deemed to be a waiver by the County of any of its rights under this contract. Further, the County and the Contractor covenant and agree that should the County at any time waive any provisions of this contract as to any action by Contractor requiring County's consent or approval, the County shall not be deemed to have waived or render unnecessary County's consent or approval as to any subsequent similar act by Contractor.

SECTION XVIII - NONASSIGNABILITY

No whole or partial assignment or subcontracting of this contract, or of any duty or obligation of performance arising hereunder, shall be made by Contractor without the prior written consent of the County.

Contractor shall not sell, assign or transfer any interest greater than five percent (5%) of the interest in its limited liability company without the prior written consent of County, nor shall Contractor sell, assign or transfer or permit the sale, assignment or transfer of any interest greater than five percent (5%) in any entity which is a member of the limited liability company without the prior written consent of County. This restriction on sale, transfer and assignment shall extend to any entity which is a member or stockholder of any entity holding an interest in the limited liability company's management entities.

SECTION XIX- MODIFICATIONS IN WRITING

No modifications or amendments to this contract will be permitted without prior approval from the County and its legal counsel. Any and all modifications or amendments must be in writing and executed by both parties.

IN WITNESS WHEREOF the undersigned have signed their names and set their seals this 12th day of December, 2013.

**BOARD OF COUNTY COMMISSIONERS
SANTA ROSA COUNTY, FLORIDA**

ATTEST:

Donald C. Spencer
Clerk of Court
Donald C. Spencer
SANTA ROSA COUNTY, FLORIDA

By: Jim Melvin
Jim Melvin, Chairman

**LESSEE: TC's COASTAL PIER, LLC.
BY COASTAL CONCESSIONS, LLC,
ITS MANAGING MEMBER AND
INCITE SOLUTIONS, LLC,
ITS MANAGING MEMBER, AND
WISE CHOICE HOLDINGS, LLC,
ITS MANAGING MEMBER**

WITNESSES:

Merry Andrews
Sarah Whitford
Merry Andrews
Sarah Whitford

By: Scott Rayner
Scott Rayner Managing Member for
Incite Solutions, LLC

By: Joseph Bryant
Joseph Bryant, Managing Member for
Wise Choice Holdings, LLC

**STATE OF FLORIDA
COUNTY OF SANTA ROSA**

BEFORE ME, the undersigned authority, personally appeared Scott Rayner, as Managing Member for Incite Solutions, LLC, and who is personally known to me or who has produced _____ as identification and who acknowledged before me that the foregoing instrument was executed for the purposes therein expressed.

SWORN TO AND SUBSCRIBED this 12th day of December, 2013.

MERRY A. ANDREWS
NOTARY PUBLIC - STATE OF FLORIDA
COMMISSION # EE 860 697
MY COMMISSION EXPIRES MARCH 8, 2017

Merry A. Andrews
Notary Public
My Commission Expires: March 8, 2017
Commission No.: EE 860 697

**STATE OF FLORIDA
COUNTY OF SANTA ROSA**

BEFORE ME, the undersigned authority, personally appeared Joseph Bryant, as Managing Member for Wise Choice Holdings, LLC, and who is personally known to me or who has produced _____ as identification and who acknowledged before me that the foregoing instrument was executed for the purposes therein expressed.

SWORN TO AND SUBSCRIBED this 12th day of December, 2013.

MERRY A. ANDREWS
NOTARY PUBLIC – STATE OF FLORIDA
COMMISSION # EE 860 697
MY COMMISSION EXPIRES MARCH 8, 2017

Merry A. Andrews
Notary Public
My Commission Expires: March 8, 2017
Commission No.: EE860697

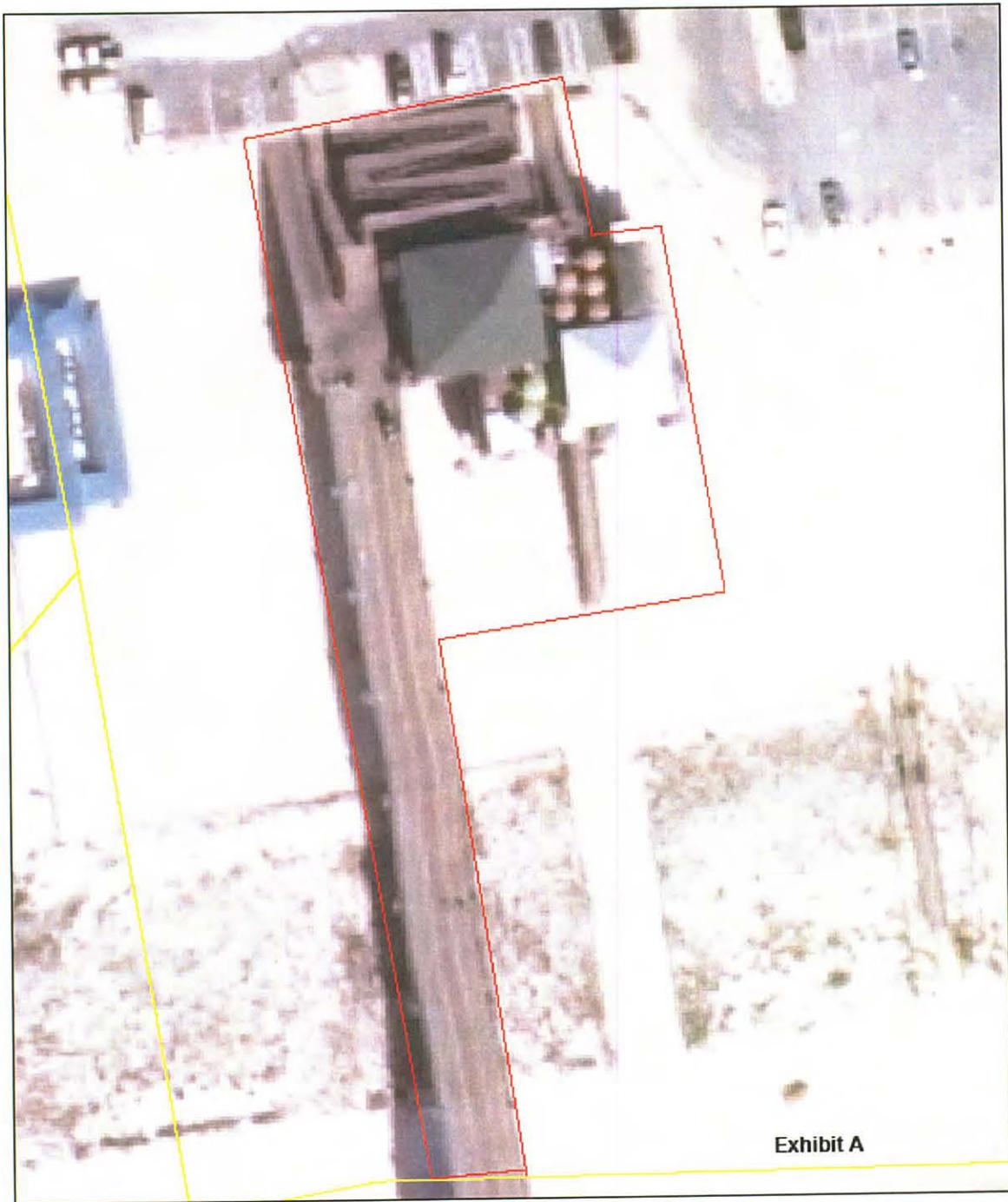


Exhibit A



Disclaimer:
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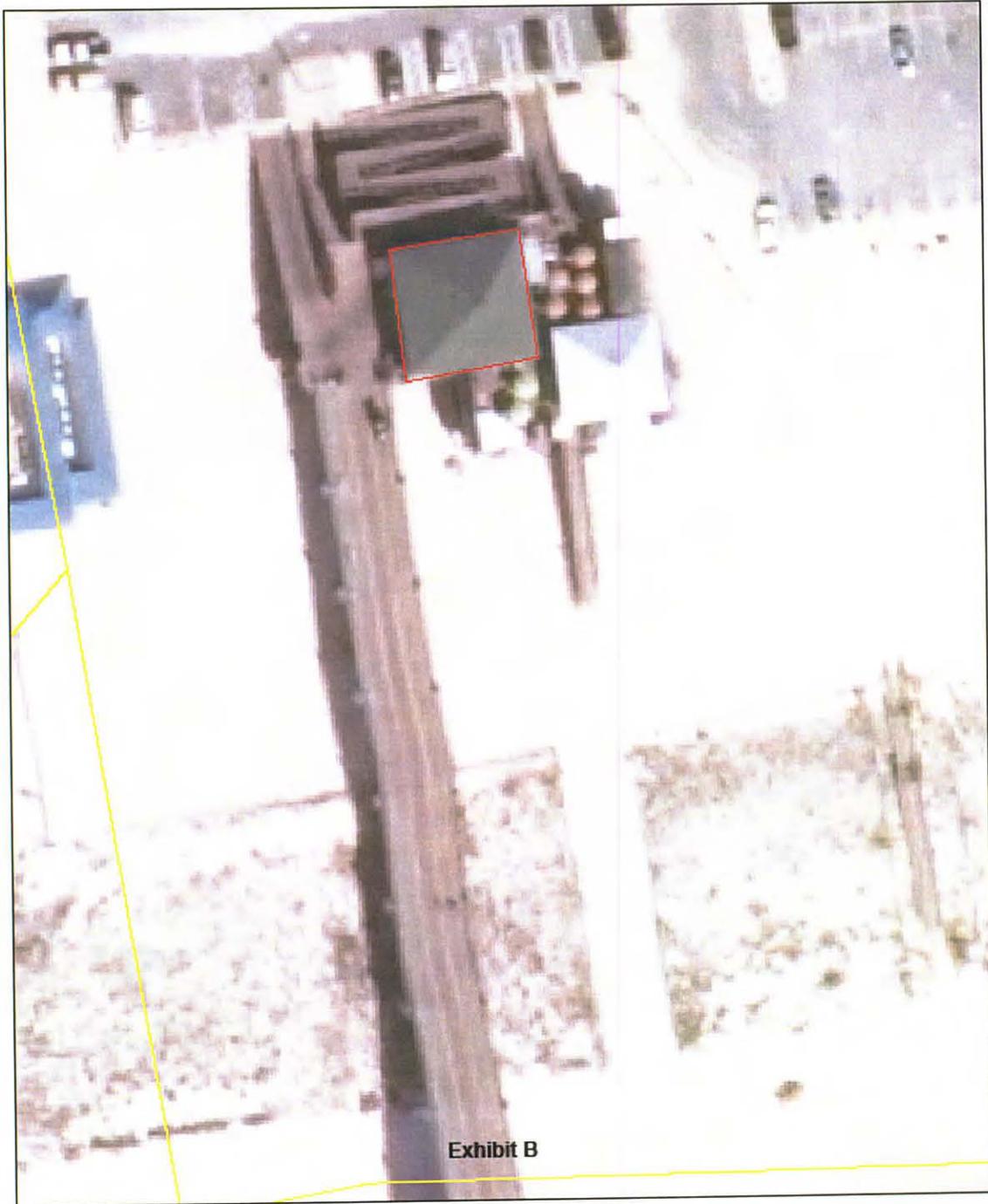
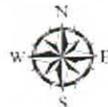


Exhibit B



Disclaimer:
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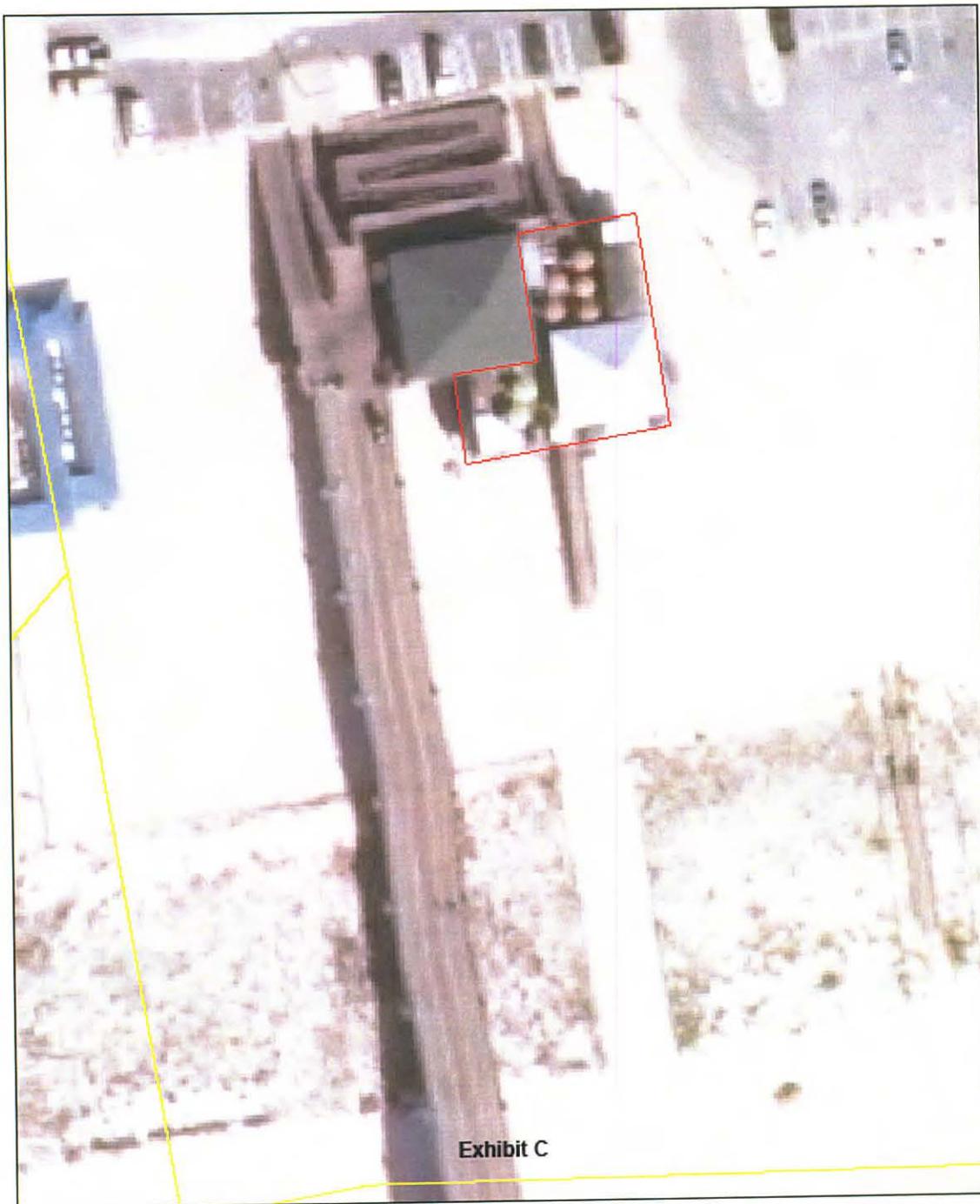


Exhibit C



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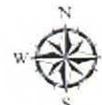


EXHIBIT D

**SOVEREIGNTY SUBMERGED LAND LEASE
WITH THE BOARD OF TRUSTEES OF THE INTERNAL IMPROVEMENT TRUST
FUND OF THE STATE OF FLORIDA**

**RECORDED IN THE PUBLIC RECORDS OF SANTA ROSA COUNTY, FLORIDA
IN O.R. BOOK 2980 PAGE 1612**

EXHIBIT E
FEE SCHEDULE

Navarre Beach Pier Admission

Admission for disabled veterans and mobility & visually impaired is free. The pier has an accessible entrance ramp and 16 handicapped accessible railing locations.

Fishing:

Fishing license included in admission

- \$7 adults
- \$6 seniors & active duty military
- \$4 youth (15 & under)
- 5 & under free

Rod rental and bait available at the pier store.

Walkers:

- \$1
- 5 & under free

Weekly Passes:

- Weekly Adult Fishing Pass \$45
- Weekly Youth Fishing Pass \$25
- Weekly Walking Pass \$5

Annual Passes:

- Annual Adult Fishing Pass \$150
- Annual Senior Fishing Pass \$100 (65 years and older)
- Annual Youth Fishing Pass \$75 (Under 16 years old)
- Annual Active Duty Military Fishing Pass \$100
- Annual Family Fishing Pass \$300 (Immediate family defined as spouse and children)
- Annual Walking Pass \$60

Passes can be purchased at the pier store.

EXHIBIT F

HOURS OF OPERATION

5:00 am to 11:00 pm, Sunday, Monday, Tuesday, Wednesday, Thursday

5:00 am to midnight Friday and Saturday

In the event of a federally-recognized Monday holiday, the Pier may be open until midnight on the preceding Sunday.

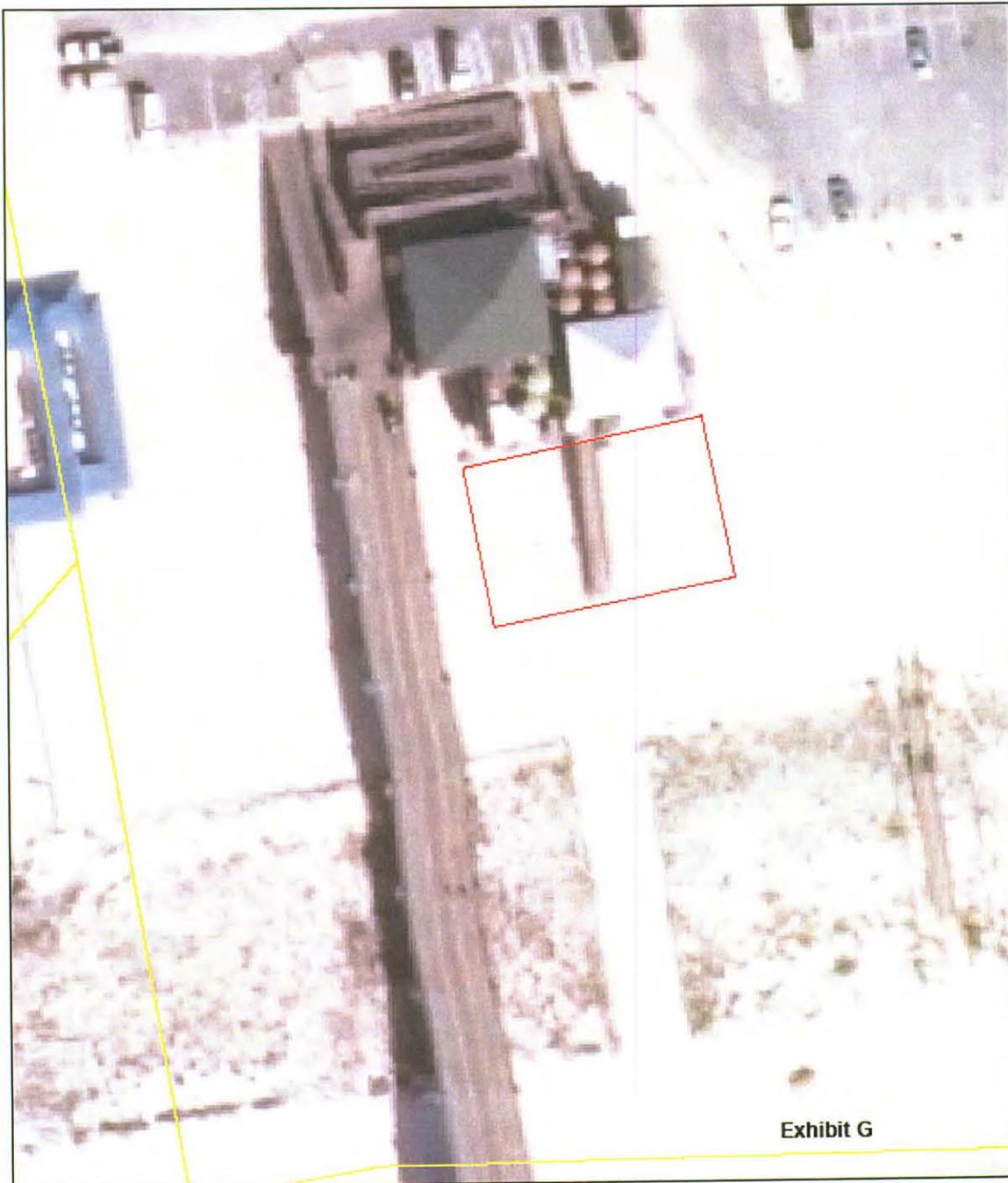


Exhibit G



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